

ZONING BOARD OF APPEALS REQUIREMENTS:

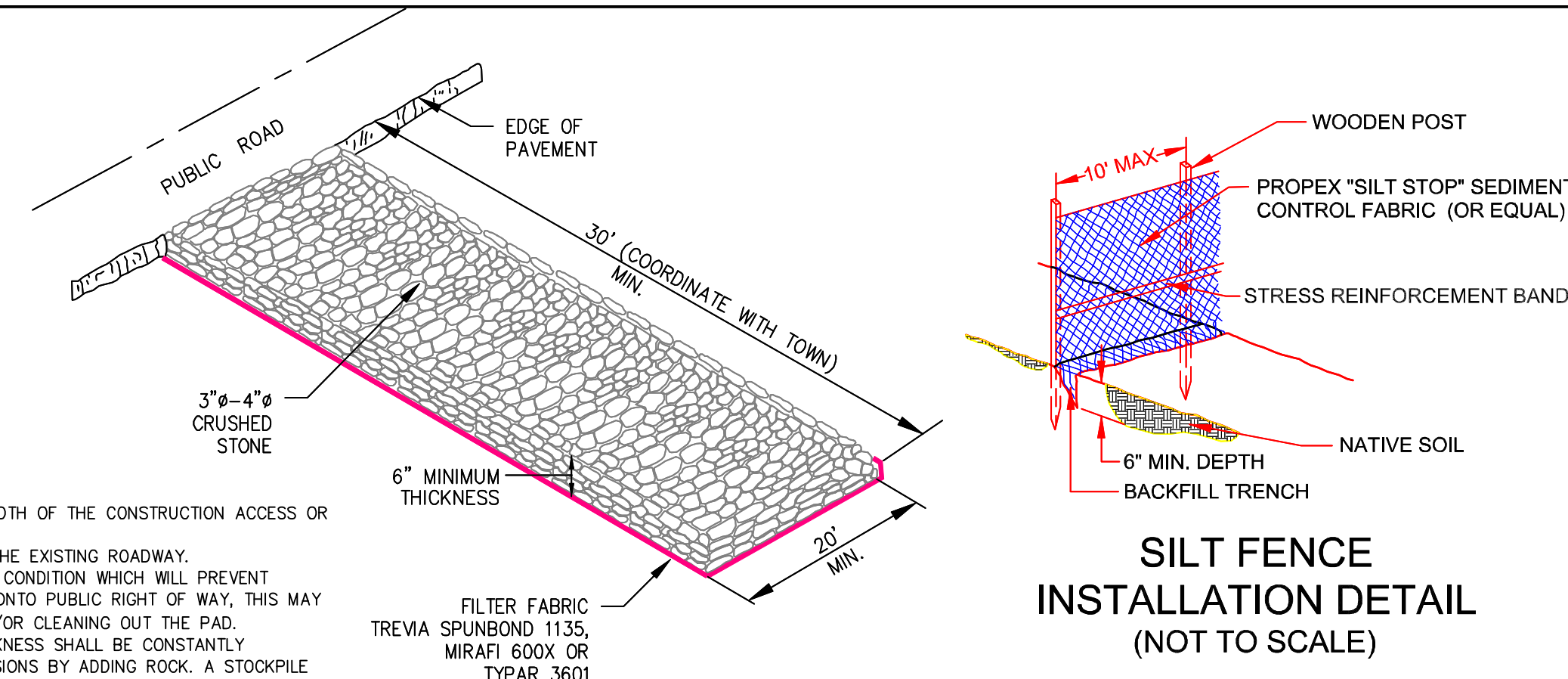
ZONING IS RR - RURAL RESIDENCE	SETBACK REQUIREMENTS:
MINIMUM LOT FRONTAGE 140.00'	MINIMUM FRONT & REAR YARD 30.00'
MINIMUM TOTAL AREA 30,000 sq. ft.	MINIMUM SIDE YARD 20.00'
MINIMUM NON-WETLANDS AREA 24,000 sq. ft.	
MAXIMUM % LOT COVERAGE 25.0% ALLOWED (17.8% +/- PROPOSED)	
MAXIMUM BUILDING COVERAGE 15.0% ALLOWED (12.1% +/- PROPOSED)	

IMPERVIOUS AREA BREAKDOWN

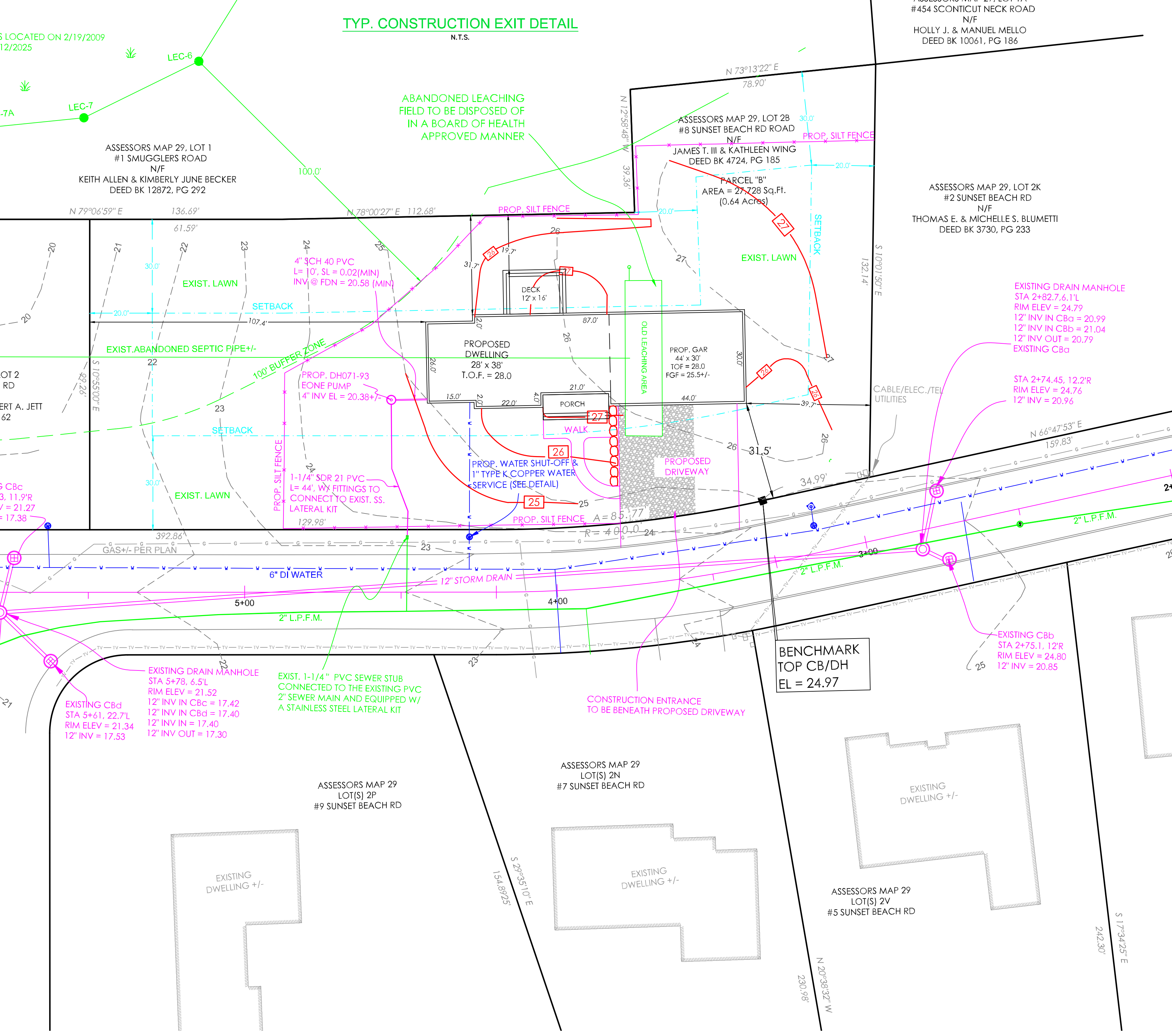
IMPERVIOUS AREA BREAKDOWN	PROPOSED
BUILDING	2,916 Sq.Ft. +/-
BIT. DRIVEWAYS/CONC./PAVERS	1,573 Sq.Ft. +/-
PORCHES/DECK/STEPS (OPEN SLOTTED)	448 Sq.Ft. +/-
TOTAL BUILDING COVERAGE	3,344 Sq.Ft.
TOTAL LOT COVERAGE	4,937 Sq.Ft. +/-
TOTAL DISTURBED AREA IN 100' BUFFER ZONE	0 Sq.Ft. +/-

- NOTES:**
1. THE PAD SHALL EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS OR 20 FEET, WHICHEVER IS GREATER.
 2. THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY.
 3. THE PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANING OUT THE PAD.
 4. ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE.
 5. ALL SEDIMENT SPILLED, DROPPED WASHED OR TRACKED ONTO THE PUBLIC RIGHT OF WAY/PAVED ROADWAY MUST BE REMOVED IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

TYP. CONSTRUCTION EXIT DETAIL
N.T.S.



ABANDONED LEACHING FIELD TO BE DISPOSED OF IN A BOARD OF HEALTH APPROVED MANNER

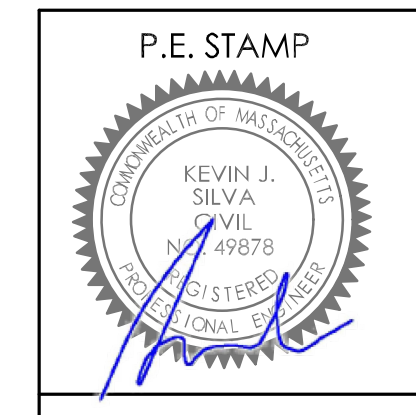


- GENERAL UTILITY NOTES:**
1. EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM RECORD DRAWINGS AND FROM SURFACE EVIDENCE OBTAINED BY ON-THE-GROUND SURVEY BY OTHERS. NO REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN IS MADE BY THE SURVEYOR/ENGINEER. VERIFICATION OF UTILITIES AND LOCATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR WITH THE AID OF DIG SAFE AND OTHER RESPECTIVE UTILITY COMPANIES.
 2. ALL CONSTRUCTION MATERIALS AND INSTALLATION METHODS TO CONFORM TO THE TOWN BOARD OF PUBLIC WORKS SPECIFICATIONS STANDARD DETAILS, AS MOST RECENTLY AMENDED, AS WELL AS FRMA'S INSTALLATION STANDARDS.
 3. CONTRACTOR SHALL KEEP RECORDS OF LOCATIONS FOR ALL UNDERGROUND UTILITIES INSTALLED FOR USE IN COMPILING AN AS-BUILT SITE PLAN. CONTRACTOR TO ENSURE ALL INSPECTIONS WERE COMPLETED PRIOR TO BACKFILLING, AS NO WORK WILL BE ACCEPTED IF COVERED PRIOR TO TOWN INSPECTION DUE TO APPLICANT/CONTRACTORS FAILURE TO COORDINATE AND NOTIFY THE DEPARTMENT OF PUBLIC WORKS.
 4. CONTRACTOR TO VERIFY AND CHECK BENCHMARK & ELEVATIONS AS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION. CONTRACTOR TO COMPLETE AN APPLICATION FOR INSPECTION AND SHALL BE RESPONSIBLE FOR ANY AND ALL PERMITS AS MAY BE REQUIRED. CONTRACTOR ALSO REQUIRED TO PAY ALL PERMITS AND FEES ASSOCIATED WITH COMPLETION OF THE WORK.
 5. ANY LAWN AREA DISTURBED DURING CONSTRUCTION TO BE LOAM AND SEEDED AFTER PROPER BACKFILLING. SEE DETAIL. ANY TRENCHES WITH IN THE EXISTING DRIVEWAY OR ROAD PAVEMENT/GRAVEL IS TO BE SAW CUT, W/ DEBRIS TO BE REMOVED & DISPOSED OF PROPERLY. TRENCH TO BE REPAIRED AS PER DETAIL & TO ORIGINAL CONDITION OR BETTER.
 6. THE LOCUS IS TO BE CONNECTED TO THE MUNICIPAL SEWER SYSTEM AS SHOWN ON THE PLAN. A GRAVITY TYPE CONNECTION WAS FOUND NOT TO BE FEASIBLE DUE TO THE CONFUSING SLOPES FOR THE EXISTING SUBDIVISION.
 7. THE ENVIRONMENTAL | ONE DH071/DR071-93 (OLD 2010-93 DETAILS) PUMP TO BE DIRECT WIRED IN THE BUILDINGS MAIN ELECTRICAL PANEL THROUGH APPROPRIATE CONDUIT. THE ENVIRONMENTAL ONE ALARM WITH VISUAL AND AUDIBLE ALARM, MANUAL SILENCE, AND MANUAL RUN MUST BE INSTALLED IN A NORMALLY OCCUPIED PORTION OF THE BUILDING. IF INSTALLED OUTDOORS CONTRACTOR TO ENSURE THE PROPER EXTERIOR MOUNTED MODEL IS USED ALL ELECTRICAL CONNECTIONS SHALL CONFORM TO THE N.E.C. CODES BASED ON VOLTAGE SOURCE (240V OR 120V) AVAILABLE TO THE BUILDING. CONTRACTOR TO VERIFY WITH OWNER AS TO CHOICE OF WIRELESS OR HARDWIRED UNITS PRIOR TO ORDERING. ALL COMPONENTS TO BE PURCHASED FROM FRMA & ASSOCIATES, INC. OR AN APPROVED EQUAL.
 8. ANTI-FLOTATION ANCHOR NOT REQUIRED PER MANUAL HOWEVER SITE DOES HAVE A HIGH WATER TABLE AND IF NEEDED TO BE INSTALLED TO PREVENT FLOTATION. MINIMUM RING OR CONCRETE TO BE SIZED IN ACCORDANCE WITH EONES STANDARDS. ASSUMING A HIGH WATER TABLE PER SOIL EVALUATIONS NEAR BY. CONTRACTOR TO DETERMINE CONDITION UPON OPENING THE HOLE TO SET PUMP CHAMBER SHALL CONDITIONS WARRANT A CONCRETE ANCHOR FOR PROPER SETTING AND STABILITY REFER TO DETAIL AND EONES METHODS FOR ANCHORING...
 9. THE PUMP SYSTEM SPECIFIED IS TO BE USED. NO ALTERNATE PUMPS ARE TO BE INSTALLED WITHOUT THE DPW & DESIGN ENGINEERS APPROVAL AS TO THE PUMP CHARACTERISTICS AND SUITABILITY. PUMPS ARE SIZED FOR NORMAL HOUSEHOLD TYPE SEWERAGE ONLY. REFER TO EONES ONLINE SITE TO DETERMINE WHAT IS ALLOWED THROUGH THE SYSTEM.
 10. A BACKUP GENERATOR (ADEQUATE FOR SUPPLYING THE SEWAGE PUMP IN CASE OF ELECTRICAL FAILURE) IS STRONGLY RECOMMENDED IN WHICH A TRANSFER SWITCH MAY BE WARRANTED.
 11. PROPOSED 1-1/4" PIPING TO BE SDR 21 PVC PIPING TO BE INSTALLED 48" BELOW GRADE (BELOW THE FROST LINE) AND INSTALLED A MINIMUM OF 18 INCHES BELOW ANY WATER MAIN OR WATER SERVICE CROSSING. THE 4" SCH 40 PVC PIPE FROM THE DWELLING TO PUMP TO BE SET WITH A SLOPE OF 0.02 (MIN). ANY LOW PRESSURE PIPING INSTALLED W/ LESS THAN 48" COVER TO BE INSULATED PER TOWN APPROVED PROCEDURES AND PROPER INSULATION PER DPW SEWER USE REGULATIONS.
 12. CONTRACTOR TO COORDINATE WITH THE HOME OWNER AND THE TOWN B.P.W. OFFICE AS TO CONSTRUCTION DATES AND TIME FRAMES PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE WITH ALL PROPERTIES ON LINE AFFECTED BY CONNECTION, TO SHUT DOWN ALL PUMPS NECESSARY OR PROVIDE STORAGE WHILE PIPE BEING TAPPED.
 13. PROPERTY LINES SHOWN ARE APPROXIMATE, NOT THE RESULT OF A PERIMETER TYPE SURVEY. TOPOGRAPHY AND LOT LINES SHOWN BASED ON MONUMENTATION FOUND AT TIME OF SURVEY BY KENNETH R. FERREIRA ENGINEERING.
 14. ALL LATERAL KITS, ALARMS, CONTROL PANES, CHECK VALVES, ETC. AND PUMP RELATED ITEMS CAN BE PURCHASED FROM F.E. MAHONEY & ASSOCIATES, INC. AND/OR TOWN IF SUPPLIED AND INSTALLED AS TO THERE REQUIREMENTS. (OR APPROVED EQUAL)

CONSERVATION RELATED NOTES:

1. NO WETLANDS FOUND ON PROPERTY. ALL PROPOSED WORK IS OUTSIDE THE 100FT BUFFER ZONE. HOWEVER THE WETLAND FLAGS SHOWN ARE AS DELINEATED BY LEC ENVIRONMENTAL WETLAND CONSULTANTS 2/19/2009 AND SHOWN AS LOCATED AT THE TIME OF DELINEATION. ON 12/24/2025, CHRISTOPHER J. CAPONE, WETLAND CONSULTANT, WALKED THE SITE AND CONFIRMED OFF SITE WETLAND WAS CONSISTENT WITH LINE DELINEATED BY LEC IN 2009. REFER TO WETLANDS SITE REVIEW LETTER.
2. THE SITE IS NOT LOCATED WITHIN AN ESTIMATED HABITAT OF RARE WETLAND WILDLIFE SPECIES. LOCUS LOT DOES NOT APPEAR TO BE WITHIN AN AQUIFER/WELLHEAD PROTECTION AREA PER TOWN, GIS MAPPING.
3. ANY SILTATION FENCING OR WATTLES ARE TO BE INSTALLED, AS SHOWN ON THE SITE PLAN, PRIOR TO ANY FUTURE ACTIVITY AND ARE TO REMAIN IN PLACE AND MAINTAINED UNTIL ALL ACTIVITIES ARE COMPLETED & VEGETATION ESTABLISHED.
4. ANY SUBSTANTIAL SILT/DEBRIS ACCUMULATION AGAINST THE SILT FENCE/WATTLES ARE TO BE REMOVED BY HAND LABOR. ALL CONSTRUCTION LITTER/DEBRIS TO BE REMOVED FROM THE VICINITY DAILY.
5. NO REFUELING OF VEHICLES IS ALLOWED WITHIN 100 FEET OF THE RESOURCE AREA.

- GENERAL NOTES:**
1. REFER TO PLAN BOOK 164, PAGE 30, & DEED BOOK 4724, PAGE 185, PLAN BOOK 145, PAGE 98.
 2. THE LOCUS LOT LINES SHOWN, TOPOGRAPHIC SURVEY AND WETLANDS LINE ARE AS LOCATED BY KENNETH R. FERREIRA ENGINEERING. THE INFORMATION WAS SUPPLIED TO THIS OFFICE HOLDING THE MONUMENTATION FOUND BY KRFE FOR THE SUBDIVISION OF LAND.
 3. REFER TO VARIANCE GRANTED TO JAMES T. WING III ON 10/31/2023 FOR LOT TO BE BUILDABLE WITH AN AREA OF 27,728 SQ.FT. REFER TO DEED BOOK 12591, PAGE 62.
 4. LOCUS LOT IS NOT WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON THE FEMA FLOOD MAP 25005C-0501F. EFF. DATE 7/07/2009.
 5. LOT CONSIST OF LAWN WITH THE FORMER LOCATION OF THE SEPTIC SYSTEM THAT WAS SERVICING #10 AND HAS SINCE BEEN ABANDONED. THE PROPOSED DWELLING AND ASSOCIATED WORK IS WITHIN THE EXISTING LAWN AREA WITH ALL PROPOSED CONSTRUCTION TO BE OUTSIDE THE 100' BUFFER ZONE. IN AS MUCH AS NO NEW WORK BEING PROPOSED WITHIN THE 100' BUFFER ZONE TO THE RESOURCE AREA AT THIS TIME. ANY FUTURE BUILDING OR ALTERATION WITHIN THE BUFFER ZONE, OTHER THAN ALLOWED USE & MAINTENANCE OF THE LAWN, WILL REQUIRE A FILING WITH THE FAIRHAVEN CONSERVATION COMMISSION.



PLAN TO ACCOMPANY
BUILDING PERMIT & LPFM CONNECTION

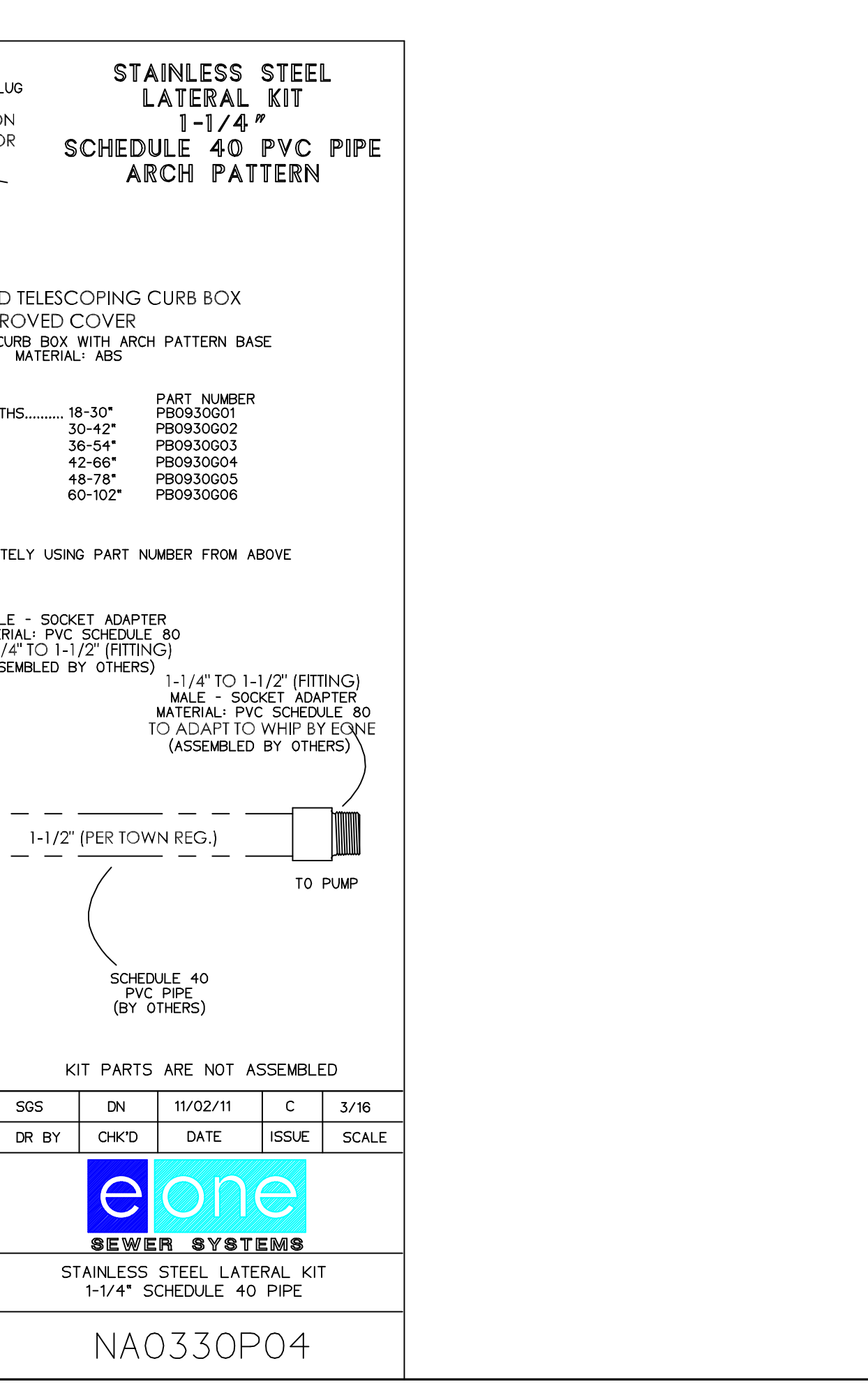
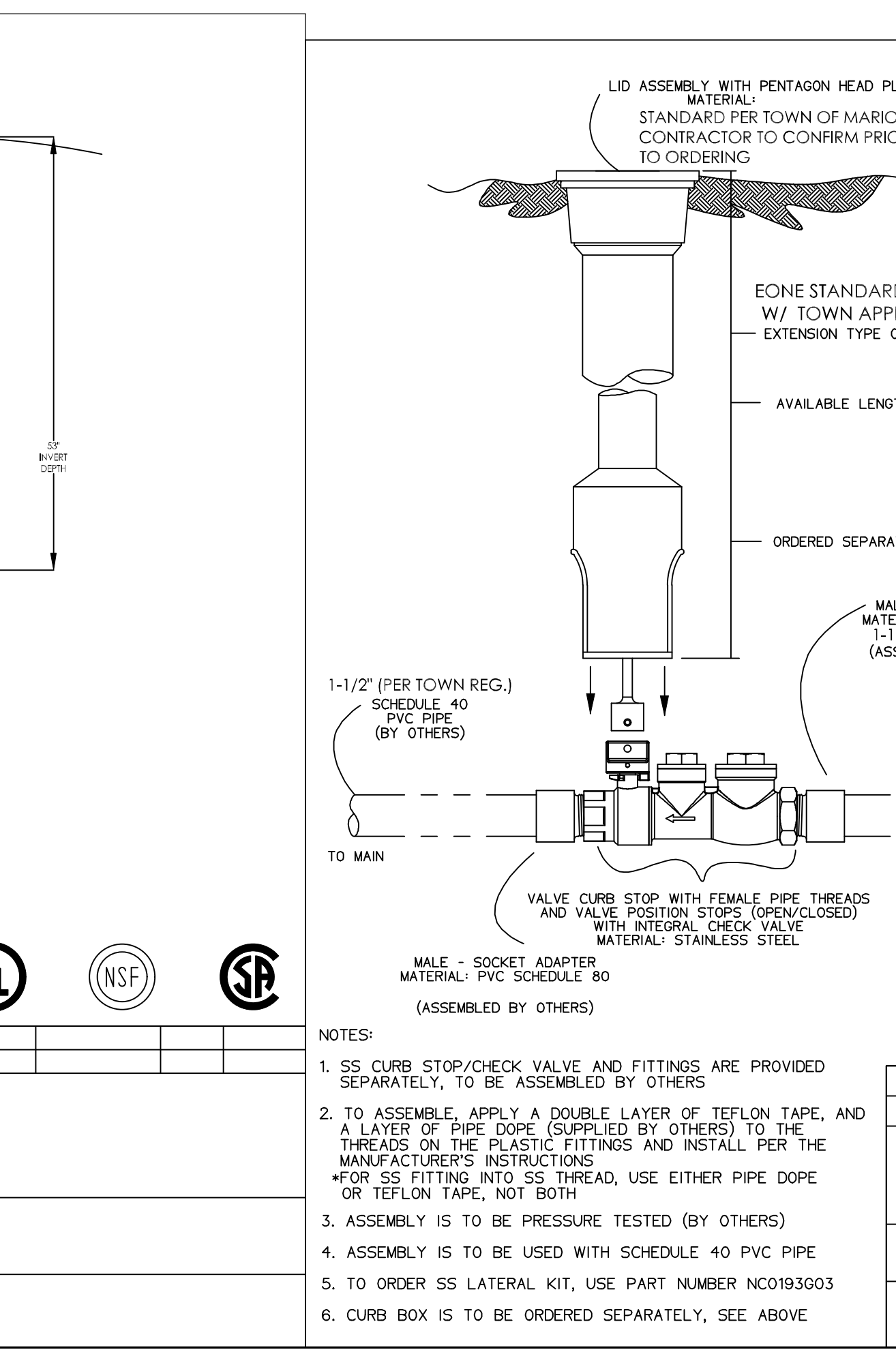
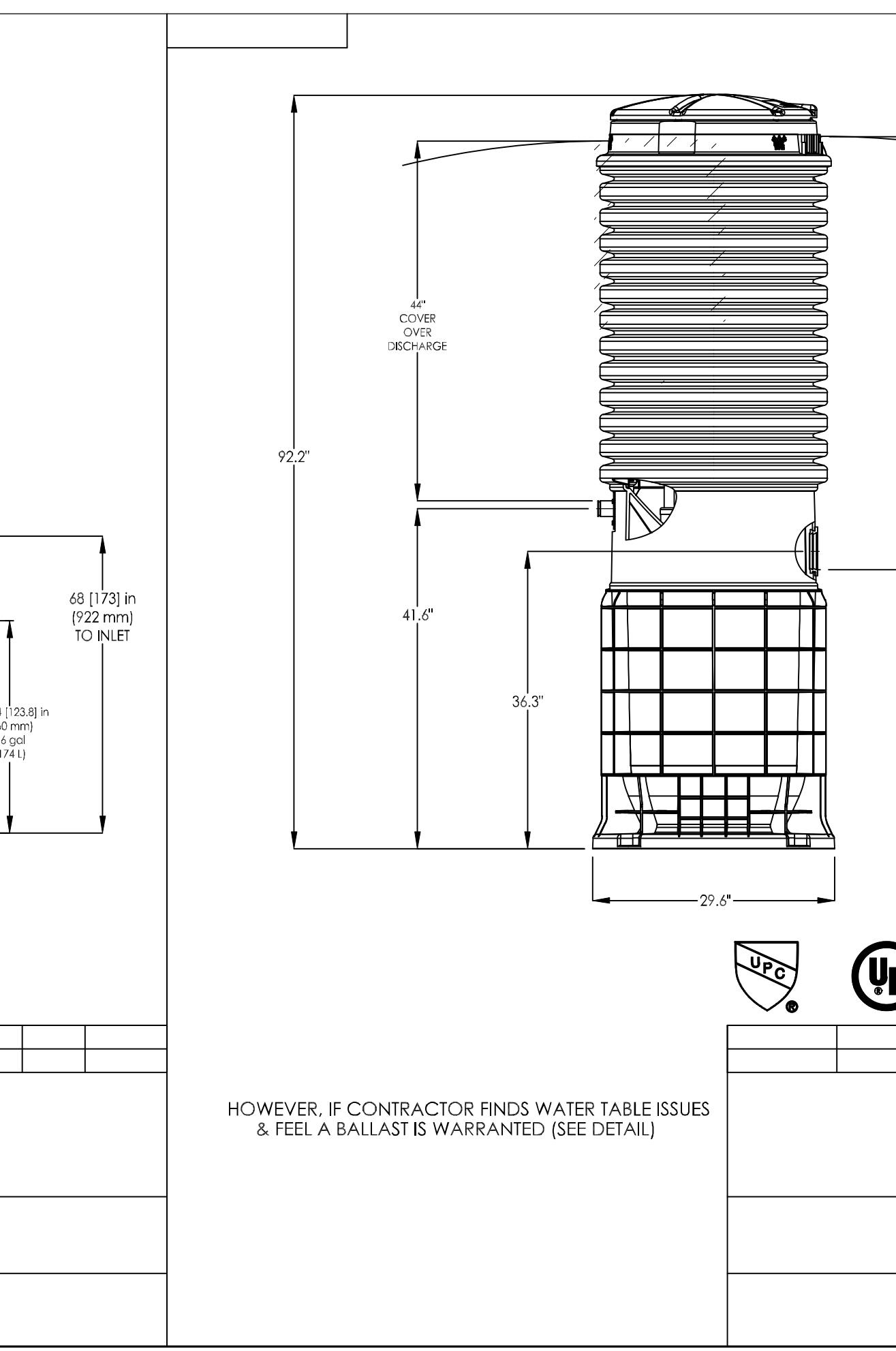
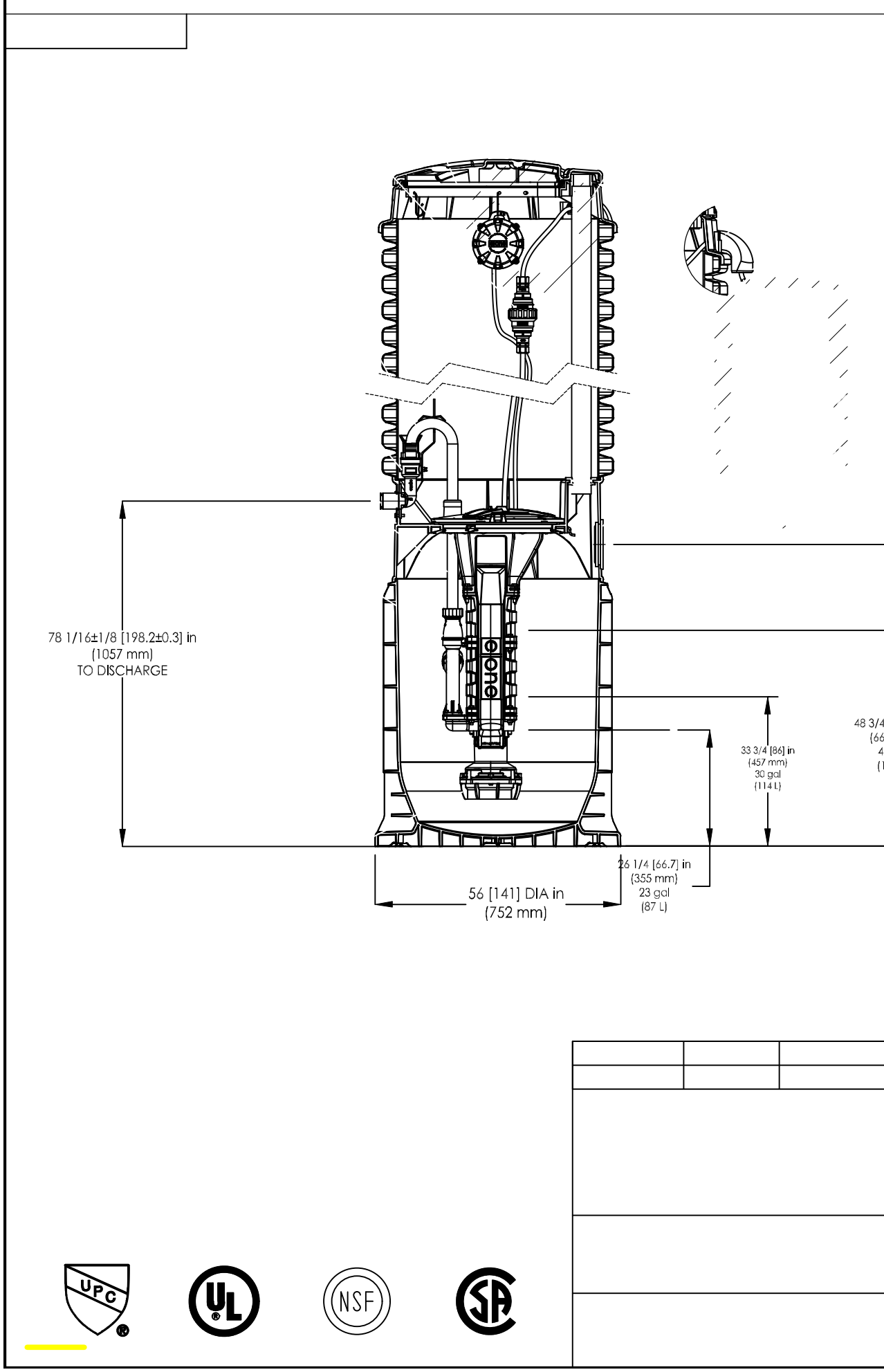
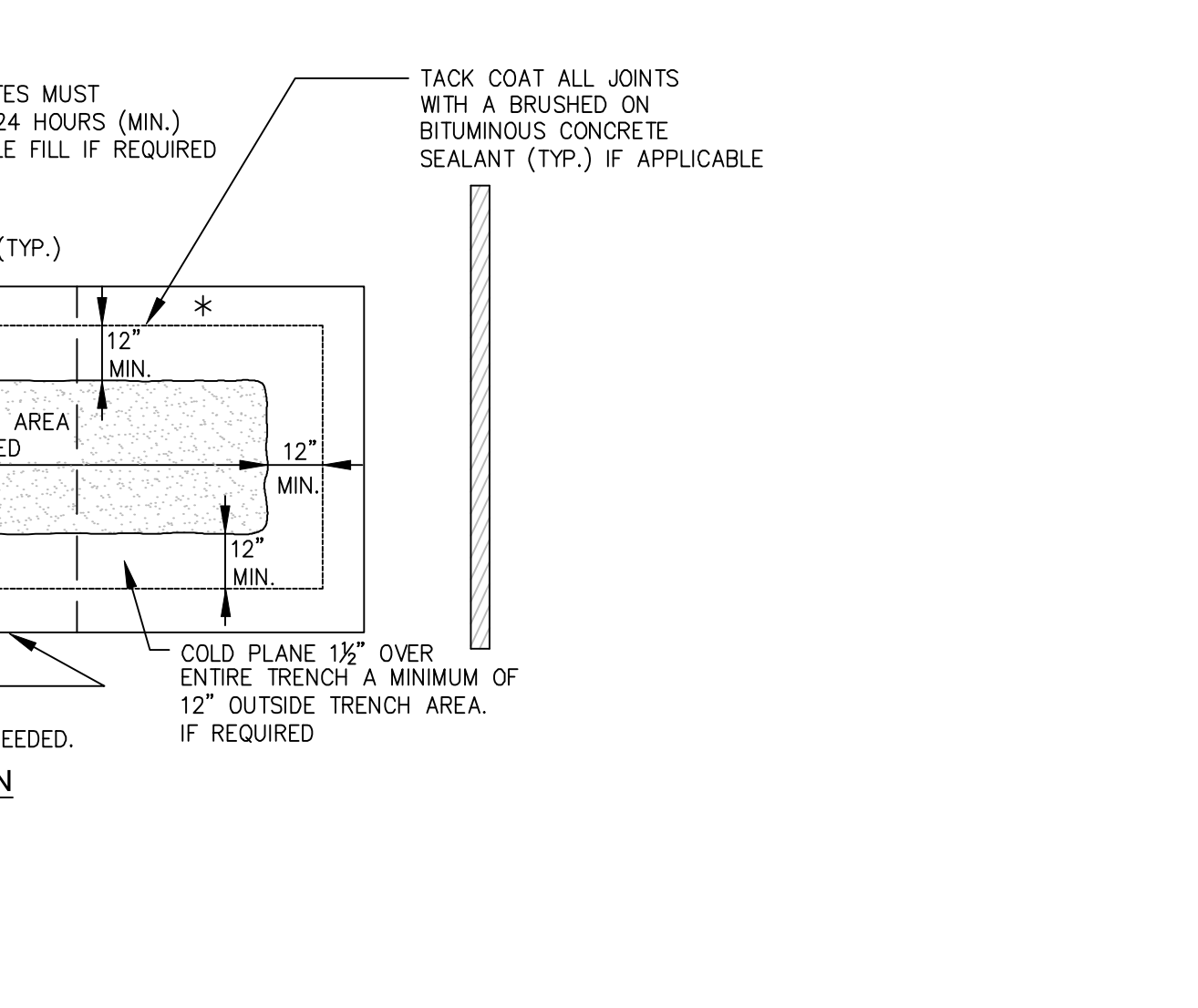
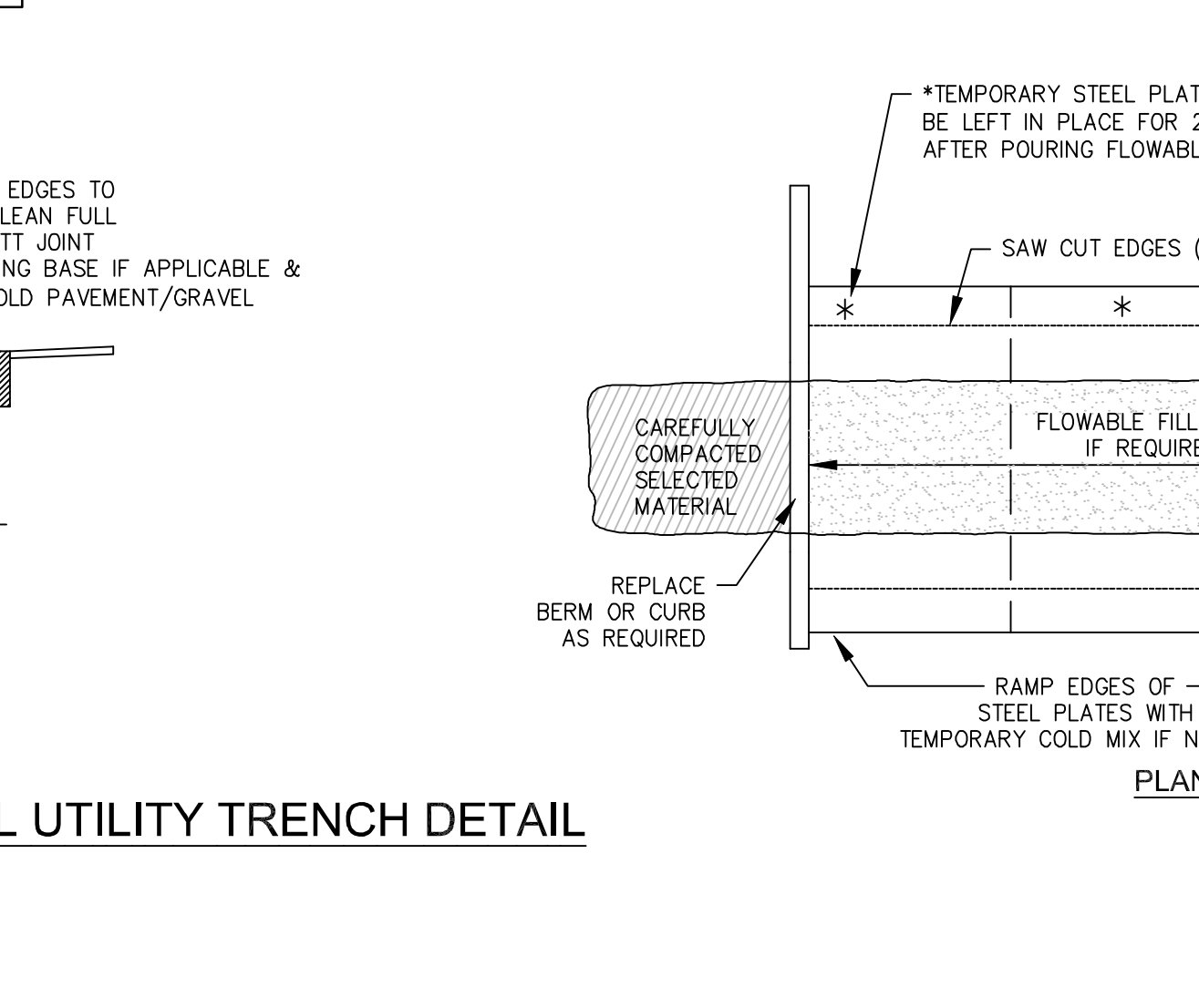
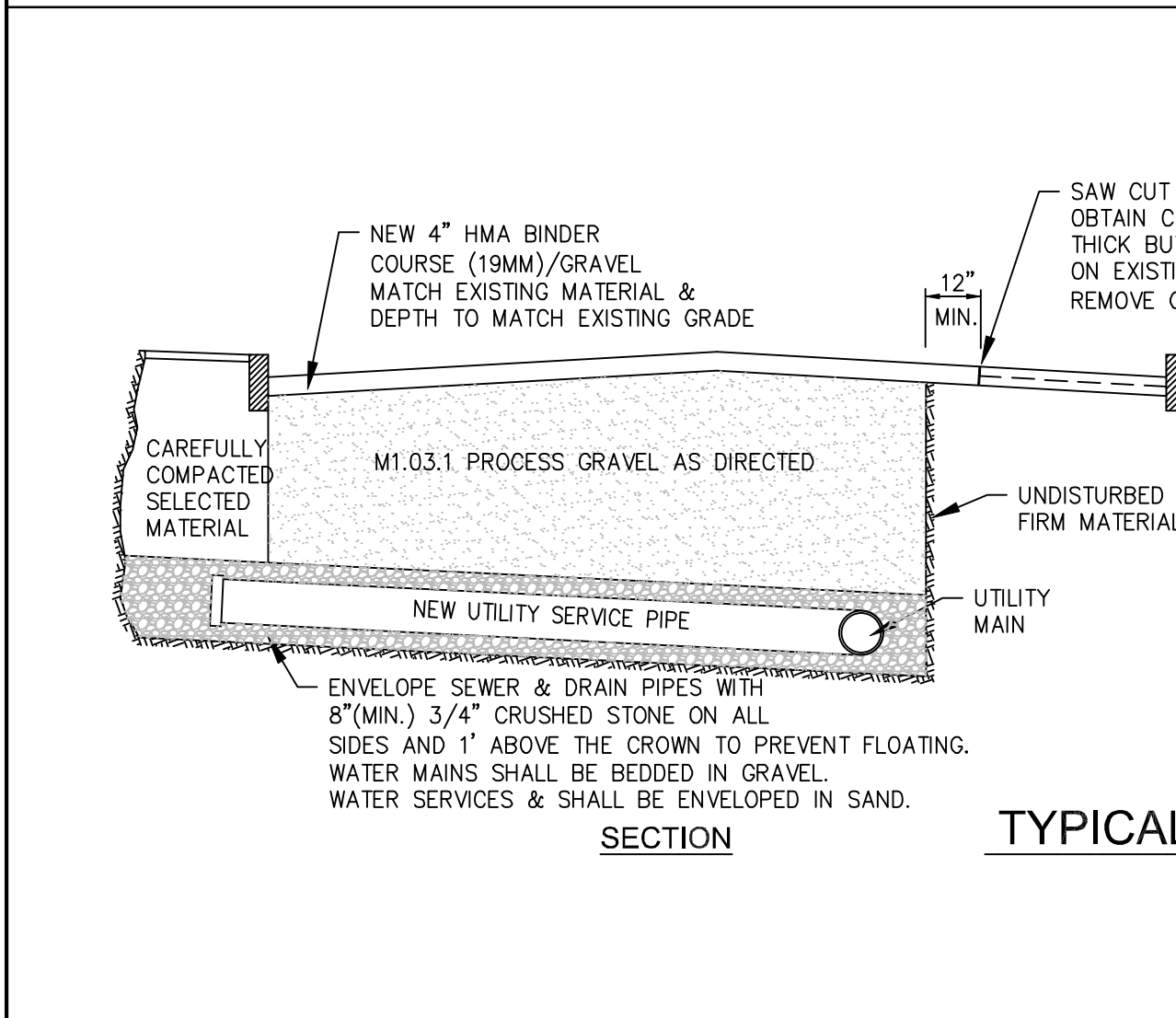
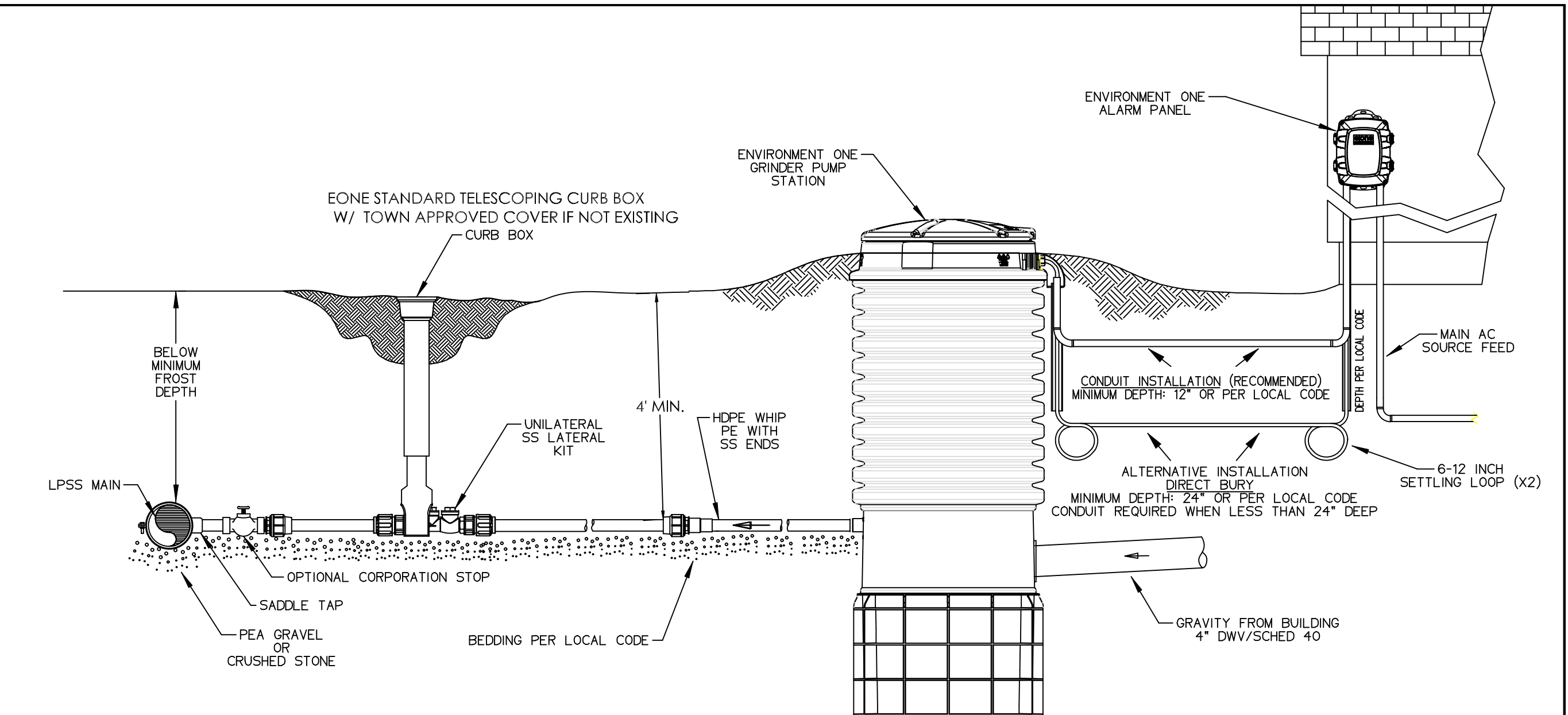
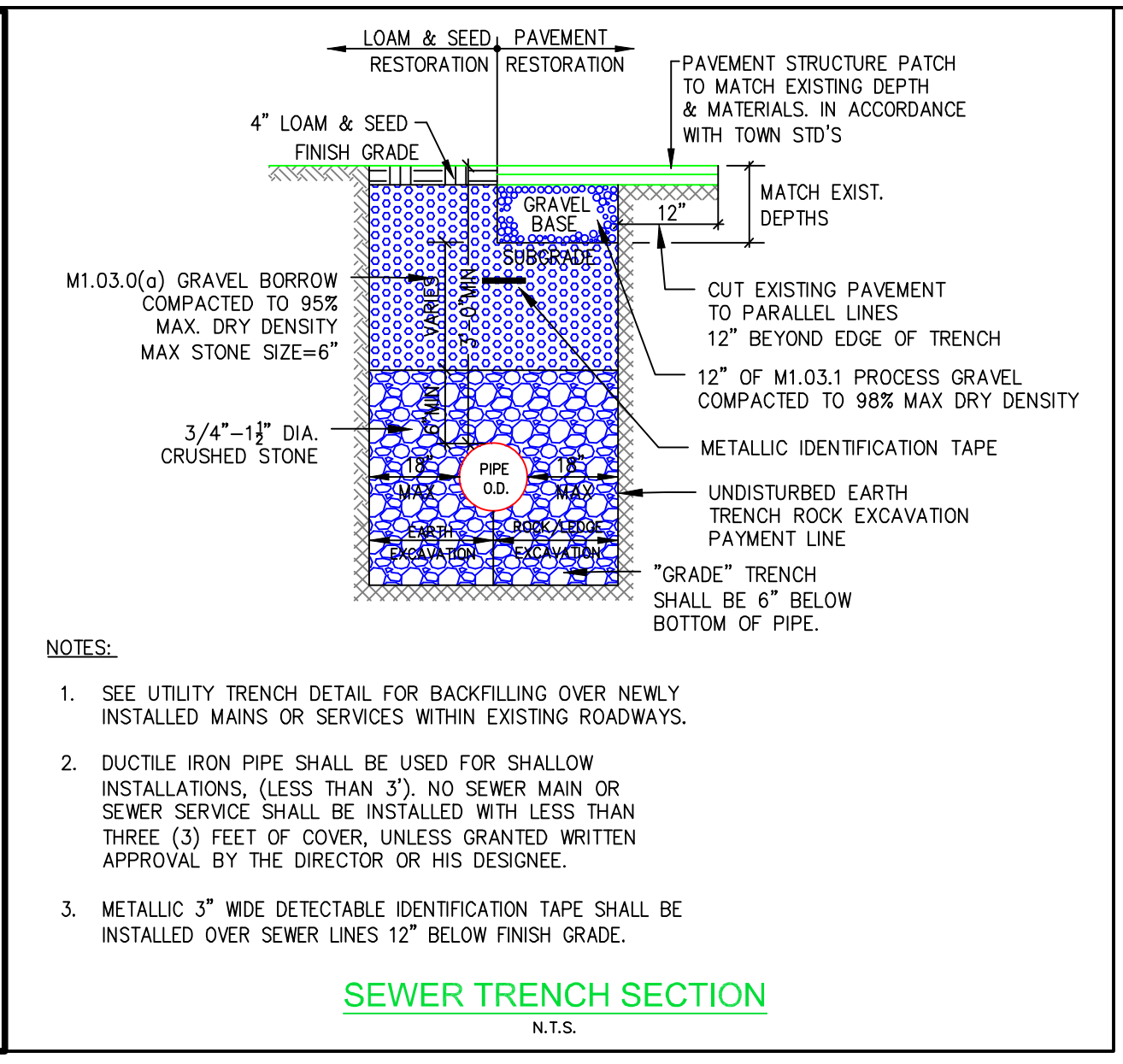
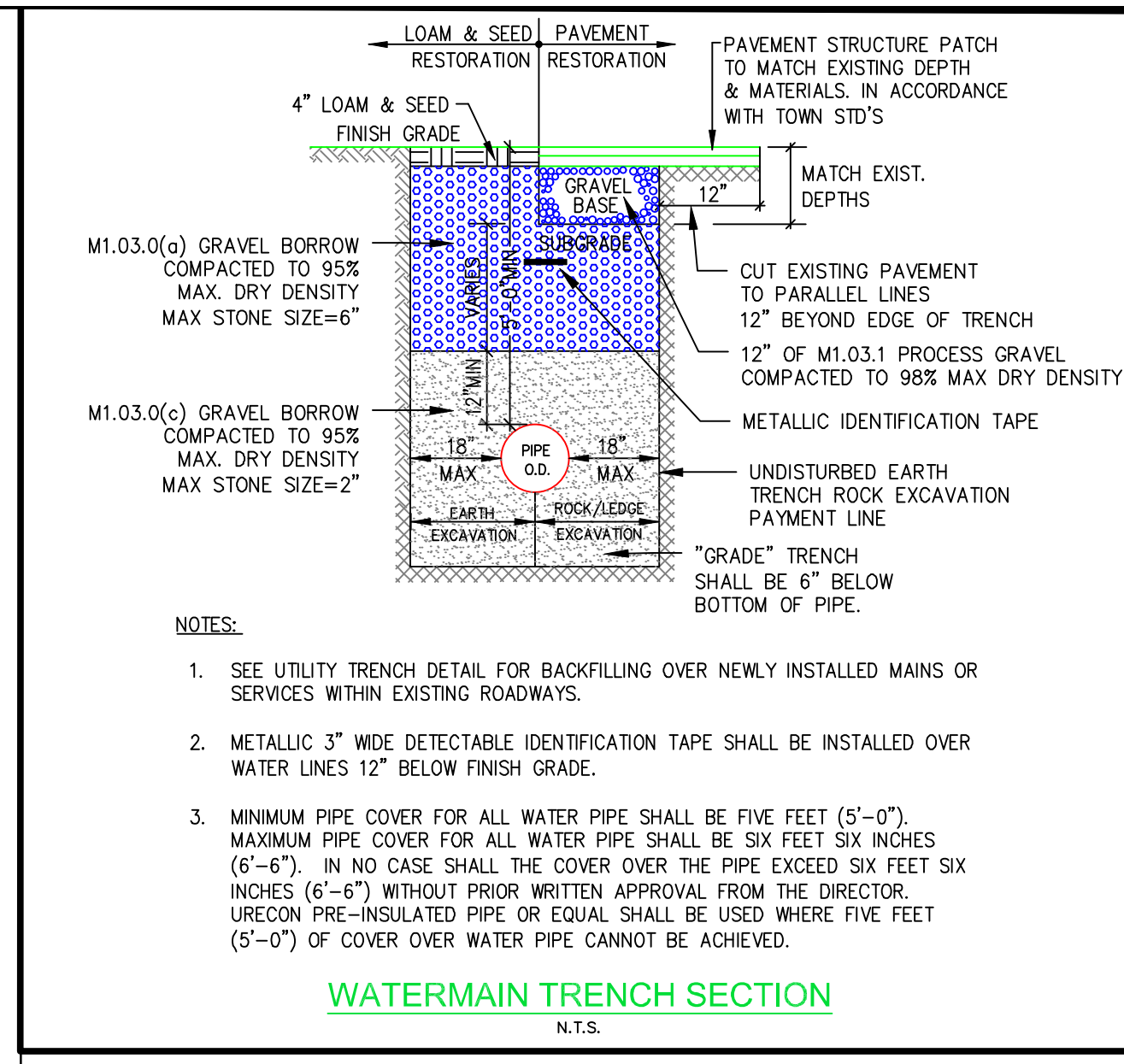
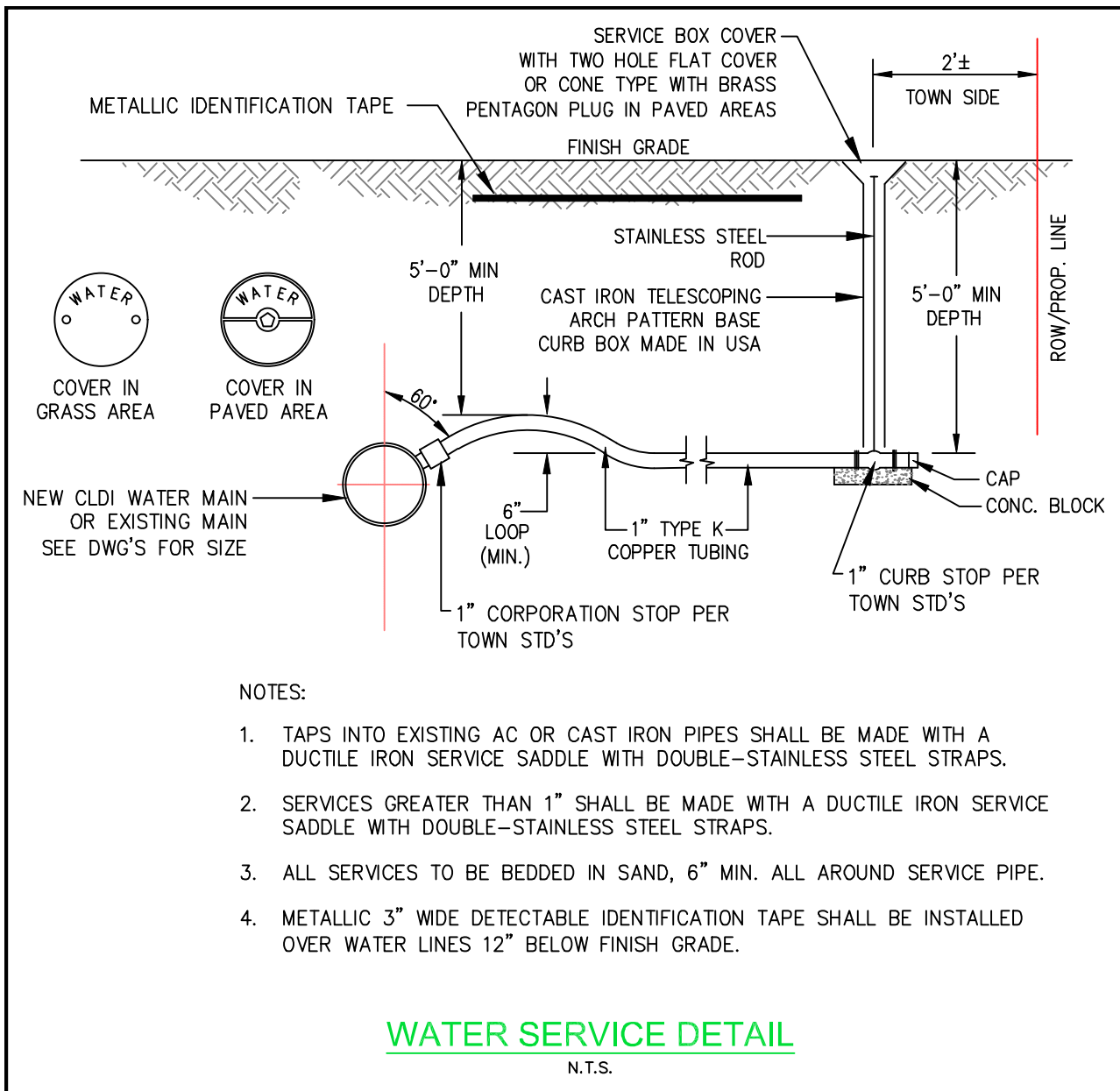
DUARTE COUTO
#8 SUNSET BEACH ROAD
ASSESSORS MAP 29, LOT 2B
FAIRHAVEN, MA

S & K ENGINEERING, LLC
P.O. BOX 1338
WESTPORT, MASSACHUSETTS 02790
(774) 319 - 5305

Contact Person: Kevin Silva
Checked By: _____ Date: 2/28/2026

REV. NO.	REVISION	BY	DATE

25-058



P.E. STAMP

DETAIL SHEET

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#8 SUNSET BEACH ROAD
ASSESSORS MAP 29, LOT 2B
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