

- NOTES:**
- STRAW WATTLES SHALL BE INSTALLED DOWNSLOPE AND ON SLOPE AT 50'± SPACING OF ALL PROPOSED AND EXISTING DISTURBED AREAS, OR AS SHOWN ON THE PLANS.
  - SECURE WATTLES WITH 1"x1"x4" STAKES EVERY 4' AND STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING 2"-4" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
  - EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL VEGETATIVE OR STABILIZED COVER HAS BEEN FIRMLY ESTABLISHED.
  - EROSION CONTROL MEASURES SHALL FOLLOW THE PERFORMANCE STANDARDS OF THE USDA SOIL CONSERVATION SERVICE, AND ANY APPLICABLE STATE/LOCAL CONSERVATION AUTHORITY.

**EROSION CONTROL BARRIER DETAIL**  
N.T.S.

- EROSION CONTROL NOTES:**
- THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENTATION CONTROL DEVICES ON SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING THE SITE. SILT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS. ADDITIONAL PROTECTION: ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNFORESEEN CONDITIONS OR ACCIDENTS.
  - EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE SUFFICIENT EROSION AND SEDIMENT CONTROL, ADDITIONAL CONTROL MEASURES SHALL BE IMPLEMENTED. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING EROSION CONTROL DEVICES WHICH BECOME INEFFECTIVE.
  - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL GRADING AND OTHER LAND DISTURBING ACTIVITIES PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE CLEANUP AND REMOVAL OF ANY BUILDUP OF SEDIMENT WHICH ESCAPES FROM THE SITE.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING SILT AND DEBRIS OUT OF ALL STORM DRAINAGE STRUCTURES UPON THE COMPLETION OF CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY FINES LEVIED AGAINST THE SITE FOR VIOLATIONS OF EROSION CONTROL REGULATIONS.
  - CONTRACTOR SHALL PROVIDE TEMPORARY GROUND COVER FOR ALL AREAS WITH EXPOSED SOIL WHICH WILL NOT BE DISTURBED BY GRADING OPERATIONS FOR A PERIOD OF THIRTY DAYS OR MORE.
  - IF WORK ON THIS PROJECT IS SUSPENDED FOR ANY REASON, THE CONTRACTOR SHALL MAINTAIN THE SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES IN GOOD CONDITION DURING THE SUSPENSION OF WORK.

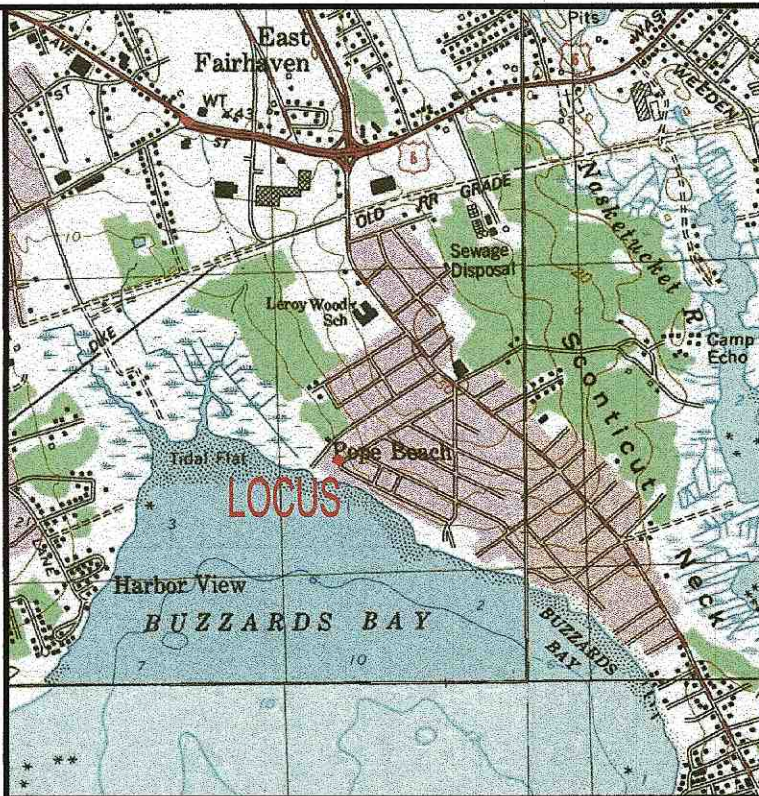
**SITE PLAN**  
SCALE: 1"=10'  
0 10 20 40

**GENERAL NOTES:**

- ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS AND IN PART FROM FIELD SURVEY AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, OR REPAIRING, ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE MGL CHAPTER 370, ACTS OF 1963. CONTRACTORS MUST CALL DIG-SAFE AT (1-888-DIG-SAFE OR 811) G.A.F. ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
- EXISTING CONDITIONS INFORMATION IS BASED ON ACTUAL FIELD SURVEY, PRIVATE UTILITY PLANS, AND OTHER AVAILABLE SOURCES. ACTUAL FIELD SURVEY WAS PERFORMED BY G.A.F. ENGINEERING, INC. ON VARIOUS DATES AND MOST RECENTLY IN MARCH OF 2024.
- THE CONTRACTOR SHALL COORDINATE AND OBTAIN ALL REQUIRED PERMITS, GIVE ALL NOTICES, COMPLY WITH ALL LAWS AND REGULATIONS, AND PAY ALL FEES ASSOCIATED WITH THE INSTALLATION OF THIS WORK.
- THE CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION ALL EXISTING UNDERGROUND UTILITY LOCATIONS AND POINTS OF INTERCONNECTION.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, SUPERVISION, TOOLS, EQUIPMENT, FUEL, POWER, SANITARY FACILITIES AND INCIDENTALS NECESSARY FOR THE FURNISHING, PERFORMANCE, START-UP AND COMPLETION OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER OF ANY CONFLICTS DISCOVERED IN THE FIELD.
- ANY CHANGES TO THESE PLANS THAT ARE MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS AND REPORTED TO THE OWNER AND ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AN EXCAVATION AND TRENCH PERMIT PURSUANT TO 520 CMR 14.00 AS APPLICABLE PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR WILL ALSO NEED TO COMPLY WITH THE ORDER OF CONDITIONS ISSUED BY THE FAIRHAVEN CONSERVATION COMMISSION.

**CONSTRUCTION NOTES:**

- IN GENERAL, THE PLANS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EVERY FITTING, CHANGE IN DIRECTION OR DETAIL OF CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF PERSONNEL AND PROTECTION OF PROPERTY AT THE SITE OR ADJACENT THERETO INCLUDING TREES, SHRUBS, LAWNS, PAVEMENTS, ROADWAYS, STRUCTURES AND UNDERGROUND UTILITIES NOT DESIGNED FOR REMOVAL, RELOCATION, OR REPLACEMENT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION REQUIRED FOR THE INSTALLATION OF THIS WORK.
- ALL MATERIALS SHALL BE NEW, FREE FROM DEFECTS AND OF GOOD QUALITY.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIAL AND OTHER DEBRIS RESULTING FROM THIS WORK.
- THE CONTRACTOR SHALL INSTITUTE ALL SAFETY MEASURES NECESSARY TO PROTECT THE PUBLIC SAFETY. THIS SHALL INCLUDE, BUT NOT LIMITED TO, BARRICADES, SIGNS, LIGHTING, FENCES, POLICE DETAILS, AND ANY OTHER MEANS AS DIRECTED. NO TRENCHES ARE TO REMAIN OPEN OVERNIGHT.
- ELEVATIONS ARE IN FEET & TENTHS AND ARE BASED ON NAVD-88 DATUM.
- SIDE SLOPE GRADING SHALL BE AS NOTED ON THE SITE PLANS. ALL SIDE SLOPES SHALL BE DRESSED WITH 4 INCHES OF TOPSOIL.
- ALL SEWER AND PLUMBING WORK SHALL CONFORM WITH 248 CMR 10.00 UNIFORM STATE PLUMBING CODE & FAIRHAVEN SEWER DEPT. SPECIFICATIONS.
- ALL METHODS AND MATERIALS SHALL CONFORM WITH MassDOT STANDARDS AND SPECIFICATIONS, AND THE REQUIREMENTS OF THE TOWN OF FAIRHAVEN PUBLIC WORKS DEPARTMENT.
- ALL UTILITY INSTALLATIONS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE TOWN, STATE AND FEDERAL REQUIREMENTS & REGULATIONS.



LOCUS MAP : SCALE 1" = 2083'

**LOT DATA:**

ASSESSORS MAP: 28A / LOT 164 & 165  
ADDRESS: 60 HIGHLAND AVENUE

OWNER:  
KENNETH WAGNER  
206 GULFVIEW DRIVE  
ISLAMORADA, FL 33036

DEED REFERENCE: BOOK 8026, PAGE 41  
PLAN REFERENCE: PLAN BOOK 6, PAGE 36

**ZONING DATA:**

ZONE: RA SINGLE RESIDENCE DISTRICT  
SETBACKS:  
MINIMUM LOT AREA: 15,000 SQ.FT.  
MINIMUM FRONTAGE: 100'  
CONTIGUOUS UPLAND: 13,500 SQ.FT.  
MINIMUM FRONT SETBACK: 20'  
MINIMUM SIDE SETBACK: 10'  
MINIMUM REAR SETBACK: 30'  
MAXIMUM BUILDING HEIGHT: 35'  
MAXIMUM LOT COVERAGE: 50%  
(PROPOSED LOT COVERAGE: 5%)  
MAXIMUM BUILDING COVERAGE: 30%  
(PROPOSED BUILDING COVERAGE: 16.9%)

**FLOOD ZONE DATA:**

THIS SITE IS WITHIN THE FLOOD ZONE VE-16, REFER TO THE F.E.M.A. FLOOD INSURANCE RATE MAP PANEL NUMBER 25023C0394-H, DATED: JULY 6, 2021.

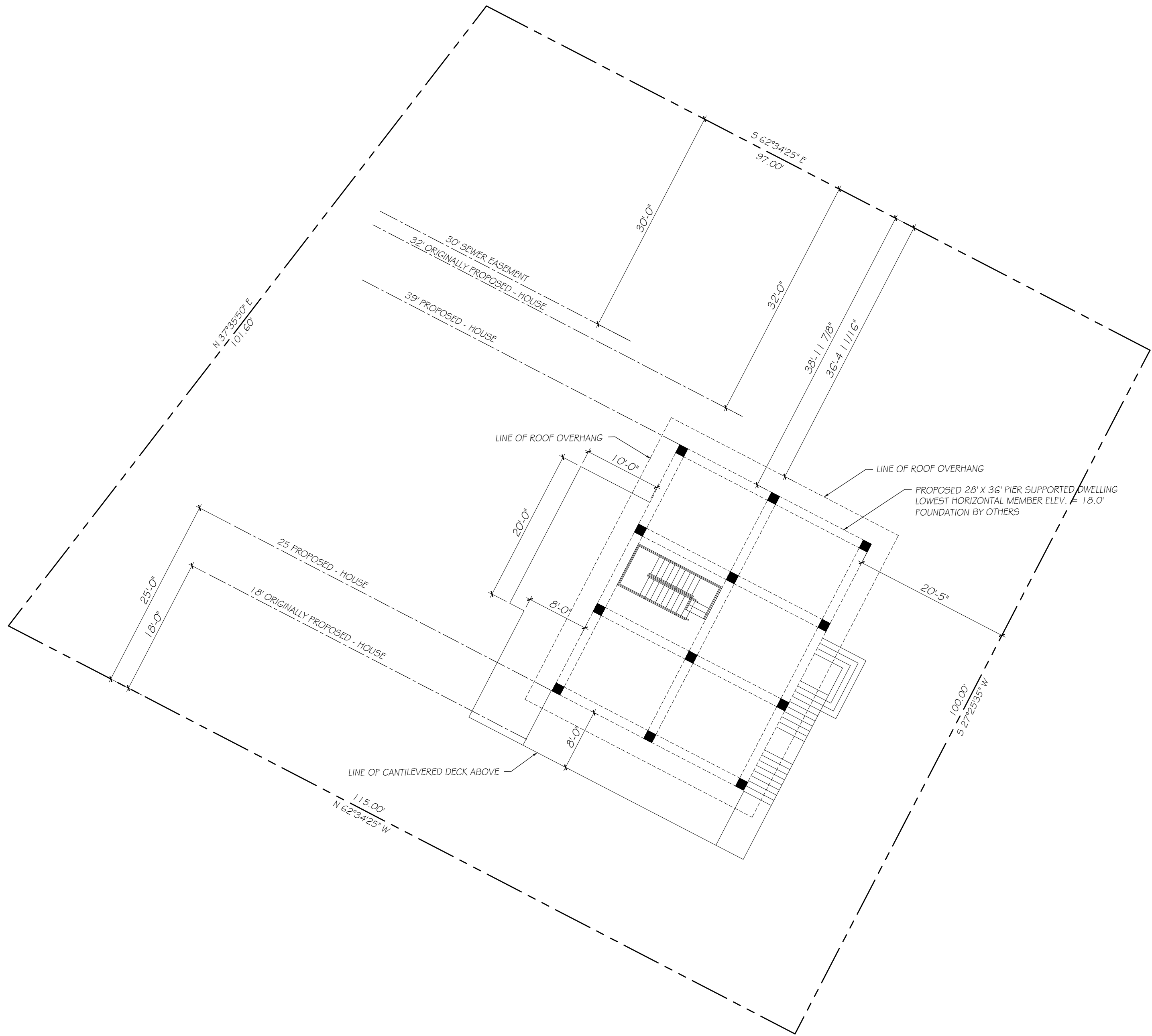
LEGEND	
EXISTING	DESC.
10	CONTOURS
14x5	SPOT GRADES
	WETLANDS
	25' NO TOUCH ZONE
	25'-50' BUFFER ZONE
	100' BUFFER ZONE
	F.E.M.A. FLOOD ZONE
	LIMWA
	CATCH BASIN (CB)
	DRAIN MANHOLE (DMH)
	OVERHEAD WIRES
	UTILITY POLE
	GUY POLE
	WATER GATE VALVE
	WATER SHUTOFF/CURB STOP
	HYDRANT
	WATER LINE
	UNDERGROUND ELECTRIC
	SEWER MANHOLE (SMH)
	SEWER LINE
	TREE/BRUSH LINE
	LIGHT POST
	GAS LINE
	GAS GATE/VALVE
	GAS SHUTOFF
	GAS METER
	FENCE
	SIGN
	BOUND
	STONE WALL
	REBAR
PROPOSED	DESC.
12	CONTOURS
12x50	SPOT GRADES
	EROSION CONTROL
	REMOVE & DISPOSE

<b>PLAN TO ACCOMPANY NOTICE OF INTENT</b>	<b>G.A.F. ENGINEERING, INC.</b> PROFESSIONAL ENGINEERS & LAND SURVEYORS 286 MAIN STREET - FAIRHAVEN, MA 02571 TEL: (508) 295-6600 FAX: (508) 295-6634 E-MAIL: info@gafengrnc.com	<b>PREPARED FOR:</b> <b>CHRISTIAN &amp; FECK DEVELOPMENT CORP.</b>	<b>JOB NO.:</b> 24-10147		
<b>APPROVED BY:</b> <i>[Signature]</i>		<b>DATE:</b> APR. 23, 2024			
<b>DRAWN BY:</b> JH		<b>CHECKED BY:</b> WFM			
<b>JOB NO.:</b> 24-10147		<b>SCALE:</b> 1" = 10'			
<b>PER EMAIL COMMENTS</b> 8-13-24		<b>REV. DWELLING SIZE &amp; DECK</b>			
<b>WFM</b>		<b>WFM</b>			
<b>7-22-24</b>		<b>7-22-24</b>			
<b>WFM</b>		<b>WFM</b>			
<b>6-11-24</b>		<b>6-11-24</b>			
<b>REV. GRADING &amp; DRAINAGE AT DWELLING</b>		<b>REV.</b>			
<b>BY</b>		<b>DATE</b>			
<b>APP'D</b>		<b>DATE</b>			









01  
S1100

SITE PLAN

SCALE: 1" = 10'-0"

GENERAL REVISIONS

1. ALL EXISTING GENERAL NOTES TO REMAIN UNCHANGED FROM APPROVED SITE PLAN DATED APRIL 23, 2024.
2. ALL EXISTING CONSTRUCTION NOTES TO REMAIN UNCHANGED FROM APPROVED SITE PLAN DATED APRIL 23, 2024.
3. ALL EXISTING EROSION CONTROL NOTES AND DETAILS TO REMAIN UNCHANGED FROM APPROVED SITE PLAN DATED APRIL 23, 2024.
4. ALL UTILITIES ARE TO REMAIN AS SHOWN, AND LOCATED ON APPROVED SITE PLAN DATED APRIL 23, 2024.
5. ALL LOT DATA, ZONING DATA, FLOOD ZONE DATA AND LEGEND TO REMAIN UNCHANGED FROM APPROVED SITE PLAN DATED APRIL 23, 2024.

GENERAL REVISIONS

1. PIER PLACEMENT LOCATIONS HAVE BEEN REVISED. THE PROPOSED SOUTHWEST ELEVATION, ORIGINALLY APPROVED AT 18' OFF THE PROPERTY LINE, IS NOW 25'. THE NORTHEAST ELEVATION, ORIGINALLY APPROVED AT 32' OFF THE NORTHEAST PROPERTY LINE AND 2' OFF THE SEWER EASEMENT, WILL NOW BE 39' OFF THE PROPERTY LINE AND 9' OFF THE SEWER EASEMENT.
2. PIER COUNT HAS BEEN REDUCE FROM 22 DRIVEN PILES, TO 12 CONCRETE PIERS
3. PROPOSED 14' X 16' DECK AND STAIRS HAVE BEEN REMOVED.
4. A 7' CANTILEVERED DECK HAS BEEN ADDED TO THE SOUTHWEST, AND A PORTION OF THE NORTHWEST SIDES OF THE DWELLING. A SECTION OF THE NORTHWEST SIDE DECK EXPANDS TO 10' FOR 18' IN LENGTH.
5. THE DRIVEWAY SIZE HAS NOT CHANGED. HOWEVER, THE LOCATION HAS MOVED NORTHEAST TO ALIGN WITH OPEN BAY LOCATION.



Michael J. Silva Architecture

19 MULBERRY STREET  
FAIRHAVEN, MASSACHUSETTS 02719  
P: 774-425-4384 C: 401-595-0305

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MICHAEL J. SILVA ARCHITECTURE



03-06-2025

No.	Revision/Issue	Date

Drawing Status

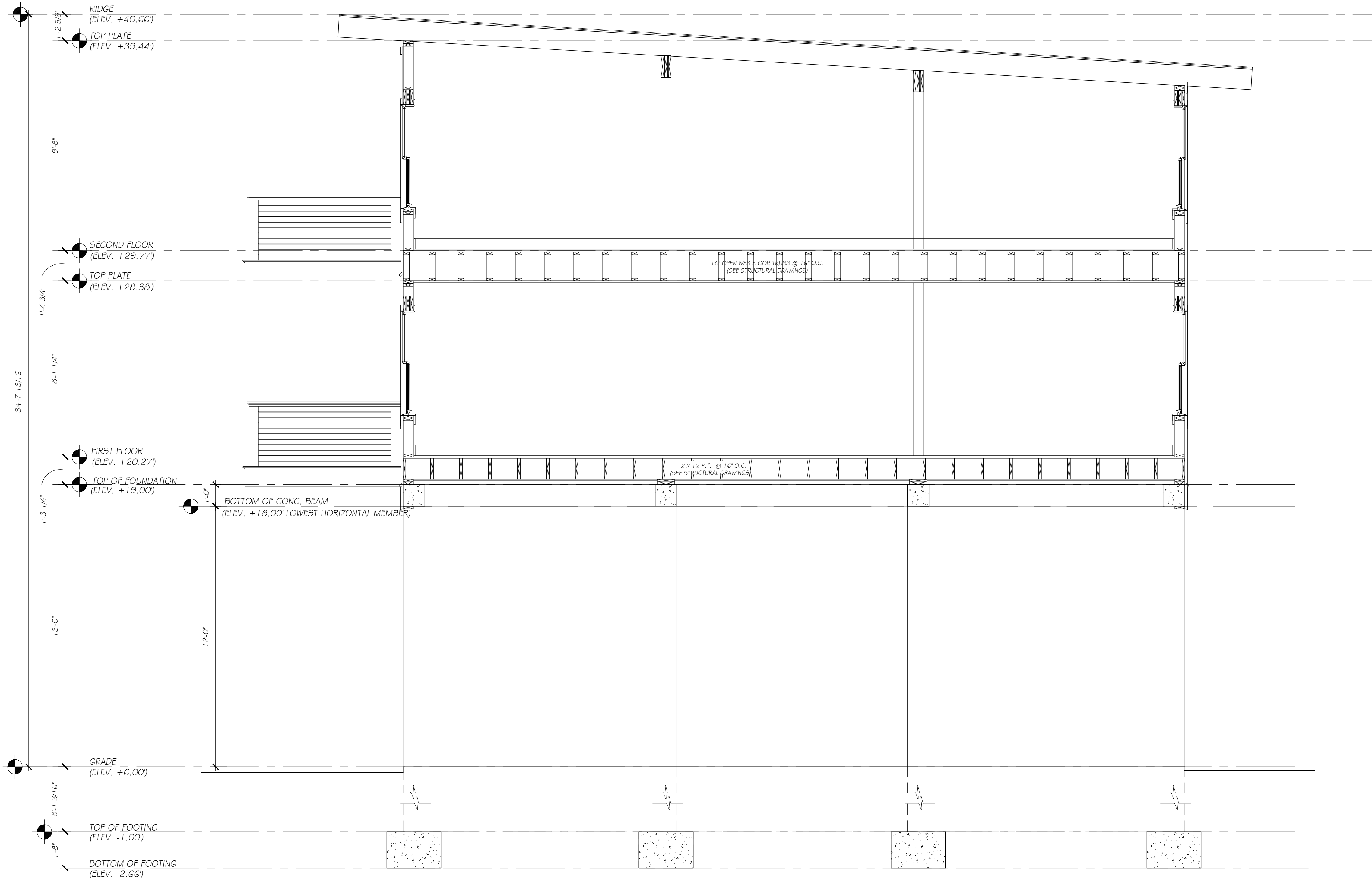
Project Name and Address

NEW CONSTRUCTION  
TYKODI RESIDENCE  
60 HIGHLAND AVENUE  
FAIRHAVEN, MASSACHUSETTS

Drawing Title

SITE PLAN  
MAP: 28A, LOT: 164 & 165

Drawn By MJS	Checked By MJS	Sheet S1100
Date 03-06-25	Project No. #2501	
Scale AS NOTED		



01 BUILDING SECTION  
AE400 SCALE: 3/8" = 1'-0"

MICHAEL J. SILVA ARCHITECTURE  
19 MULBERRY STREET  
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43 ROCKAWAY AVENUE  
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#### LEGEND

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No.	Revision/Issue	Date

Drawing Status

NOT FOR CONSTRUCTION

Project Name and Address

NEW CONSTRUCTION FOR:

TYKODI RESIDENCE

60 HIGHLAND AVENUE  
FAIRHAVEN, MASSACHUSETTS 02719

Drawing Title

BUILDING SECTION

Drawn By MJS	Checked By MJS	Sheet
Date 03-06-25	Project No. #2501	AE400
Scale AS NOTED		