

# PRELIMINARY SUBDIVISION PLAN FOR 4 EARLE ST



102 State Rd | Unit #F  
North Dartmouth, MA 02747  
Tel: (508)-730-9515

4 EARLE ST FAIRHAVEN, MASSACHUSETTS 02719

COASTAL VILLAGE PARTNERS LLC  
C/O JOEL CORDERO  
4 EARLE ST  
FAIRHAVEN, MA 02719

Owner/Applicant

AMERICAN LAND SURVEYS  
3 SUNSET LANE  
FAIRHAVEN, MA 02719

Consultant:

**ISSUED FOR PLANNING  
BOARD APPROVAL  
(NOT APPROVED FOR CONSTRUCTION)**

Issue Type

**4 EARLE STREET  
FAIRHAVEN MA 02719**

Date	Description	By	REV
6.11.26	Per. PB Comments	AK	2
5.14.26	Per. PB Comments	AK	1

**SUBDIVISION PLAN  
FOR 4 EARLE ST**

**TITLE SHEET**

Drawing Title

Project No. 25004	Checked AK	Date 03.31.2026
Designed AK/BB	Approved AK	Scale AS SHOWN

Drawing No.

**C-1**



Seal

## SHEET INDEX

### KBM DESIGN GROUP SHEET LIST

SHEET NO.	SHEET TITLE
C-1	TITLE SHEET
C-2	PROPOSED SITE PLAN
C-3	PROPOSED GRADING & UTILITY PLNA
C-4	DETAIL SHEET
C-5	FIRE APPARATUS TURNING STUDY

### SUPPORTING DRAWINGS

	EXISTING CONDITIONS PLAN
	RECORD SUBDIVISION PLAN



## PROPERTY INFORMATION

### OWNER

COASTAL VILLAGE  
PARTNERS LLC  
C/O JOEL CORDERO  
4 Earle Street  
Fairhaven, MA 02719  
Tel: (508) 317-1771

### APPLICANT

COASTAL VILLAGE  
PARTNERS LLC  
C/O JOEL CORDERO  
4 Earle Street  
Fairhaven, MA 02719  
Tel: (508) 317-1771

### ASSESSOR'S INFORMATION

Map 31A, Lot 453

## PROJECT TEAM

### CIVIL ENGINEER

KBM Design Group LLC  
102 State Road | Suite F  
Dartmouth MA 02747  
Tel: (508) 730-9515

### SURVEYOR

AMERICAN LAND SURVEYS  
3 Sunset Lane  
Fairhaven, MA 02719  
Tel: (508) 284-0699

## SUBMISSION INFO

ISSUED FOR: PLANNING BOARD APPROVAL  
DATE ISSUED: MARCH 31, 2026  
REVISED: MAY 14 2026  
REVISED: JUNE 11 2026

### WAIVER REQUEST LIST:

#### 322-16A GENERAL PROVISIONS

- A.7 WAIVER TO ALLOW CENTER LINE OF ROADWAY TO BE OFFSET FROM THE STREET RIGHT OF WAY.
- A.13 WAIVER OF GRADING AND LOCATION OF ELEMENTS FROM THE STANDARD CROSS SECTION.

#### 322-16B STREET DESIGN STANDARDS

WAIVER OF RIGHT OF WAY WIDTH, TRAVEL WAY, PAVEMENT/CAPE COD BERMS, SIDEWALK REQUIREMENTS, MINIMUM REVERSE CURVE TANGENT.  
STREET CROSS SECTIONS: WAIVER OF C-9 TABLE A: RESIDENTIAL LANE WIDTH WITH CURB, RESIDENTIAL LANE WIDTH WITH CAPE COD BERM,  
PAVED SIDEWALK, MINIMUM CENTERLINE RADIUS, HAMMER HEAD TURNAROUND.

#### 322-31D UTILITIES

WAIVER OF UNDERGROUND ELECTRIC, GAS AND TELECOM TO BE INSTALLED AT EACH LOT.

#### 322-32 CURBING

WAIVER OF CURBING REQUIREMENTS.

#### 322-49 ACCEPTANCE PLAN

EXISTING STREET IS PRIVATE AND IS PROPOSED TO REMAIN PRIVATE

ZONING SUMMARY						
ZONING DISTRICT: RESIDENTIAL A (RA)						
SUB DISTRICT: N/A						
CRITERIA	REQUIRED	EXISTING	PROPOSED LOT 1	COMPLIANCE	PROPOSED LOT 2	COMPLIANCE
MIN. LOT AREA	15,000 SF	37,917 SF	22,896 SF	YES	15,021 SF	YES
CONTIGUOUS UPLAND	13,500 SF	37,917 SF	22,896 SF	YES	15,021 SF	YES
MIN. LOT FRONTAGE	100 FT	299.83	189.00	YES	100.83 FT	YES
MAX. BUILDING HEIGHT	35 FT	<35 FT	<35 FT	YES	<35 FT	YES
FRONT YARD	20 FT	32.4 FT	32.4 FT	YES	55 FT	YES
SIDE YARD	10 FT	51.3 FT	22.3 FT	YES	15 FT	YES
REAR YARD	30 FT	87.6 FT	87.6 FT	YES	67 FT	YES
LOT COVER (%)	50 %	4,269 SF (11.26%)	4,269 SF (18.6%)	YES	3,245 SF (21.6%)	YES
MAX BLDG COVER (%)	30 %	2,185 SF (5.7%)	2,185 SF (9.5%)	YES	1,375 SF (9.1%)	YES



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SUBDIVISION PLAN  
FOR 4 EARLE ST

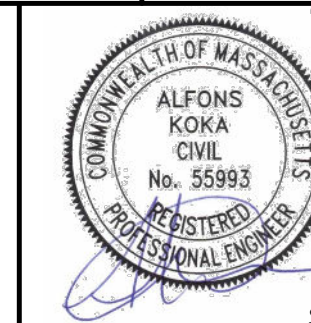
PROPOSED SITE PLAN  
FOR 4 EARLE ST  
LOT 2

Drawing Title

Project No. 25004	Checked AK	Date 03.31.2026
Designed AK/BB	Approved AK	Scale AS SHOWN

Drawing No.

C-2



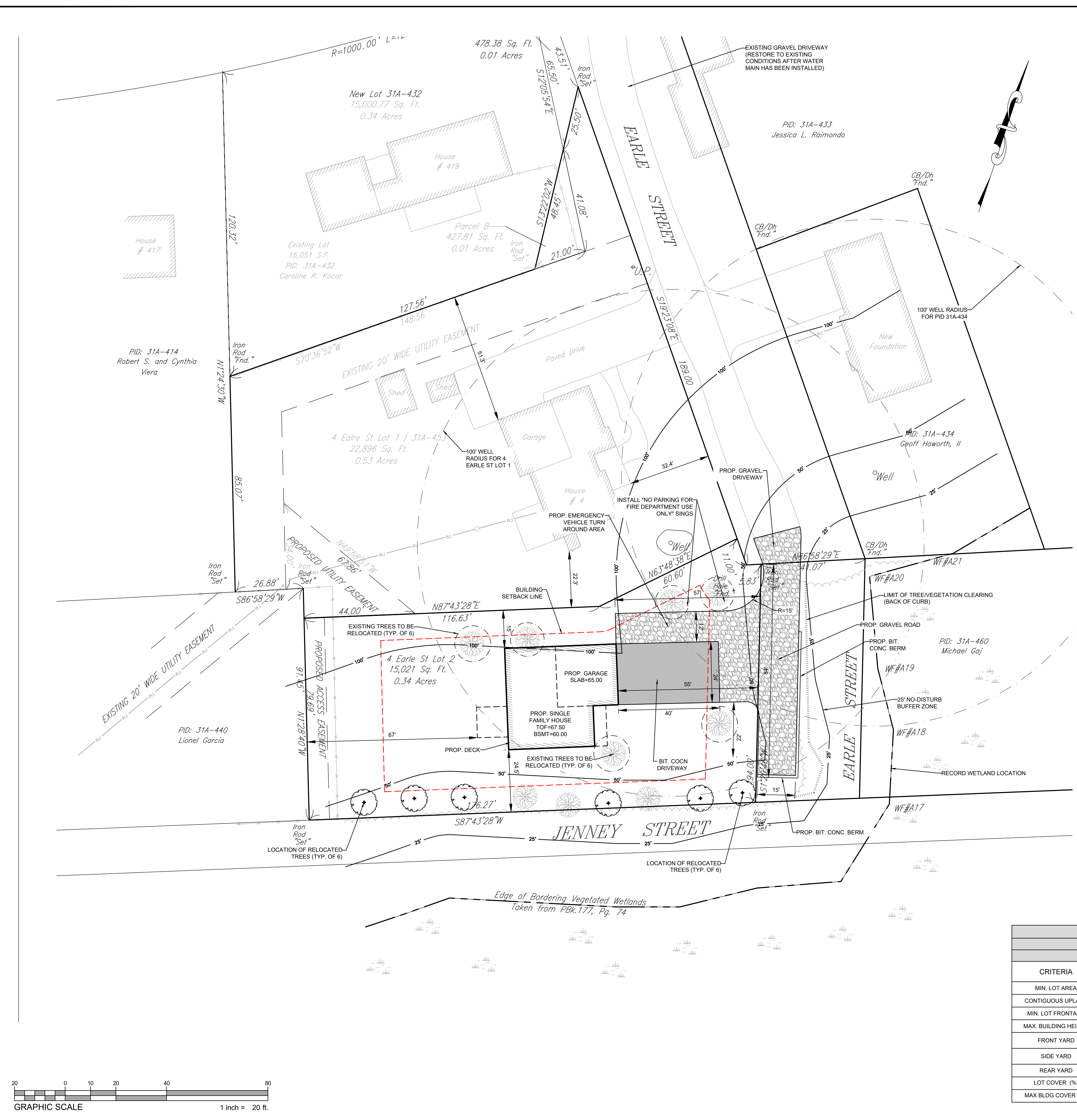
Seal

GENERAL NOTES:

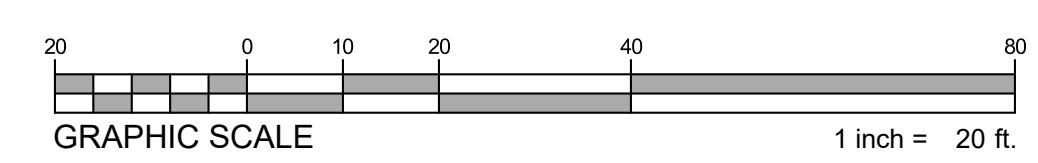
- THE INTENT OF THIS PLAN IS TO MODIFY THE RIGHT OF WAY FOR EARLE STREET AND TO CREATE PHYSICAL ACCESS TO A NEW LOT (4 EARLE ST LOT 2)
- NEW LOT (4 EARLE ST LOT 2) WILL BE CREATED BY SUBDIVIDING 4 EARLE ST MAP 31A LOT 453 INTO TWO (2) NEW LOTS
- EXISTING CONDITIONS HEREON DERIVED FROM ON THE GROUND TOPOGRAPHICAL SURVEY PERFORMED BY AMERICAN LAND SURVEYS MARCH 2025.
- WETLANDS SHOWN HEREON WERE DERIVED RECORD DESIGN PLANS AND ON SITE OBSERVATIONS FROM GODDARD CONSULTING NOVEMBER 2025.
- THE PROJECT AREA IS NOT WITHIN A FEMA ZONE A
- THE PROJECT IS NOT WITHIN A ZONE II RESOURCE OR WELLHEAD PROTECTION AREA.
- THE PROJECT IS NOT WITHIN A ZONE A SURFACE WATER PROTECTION AREA.

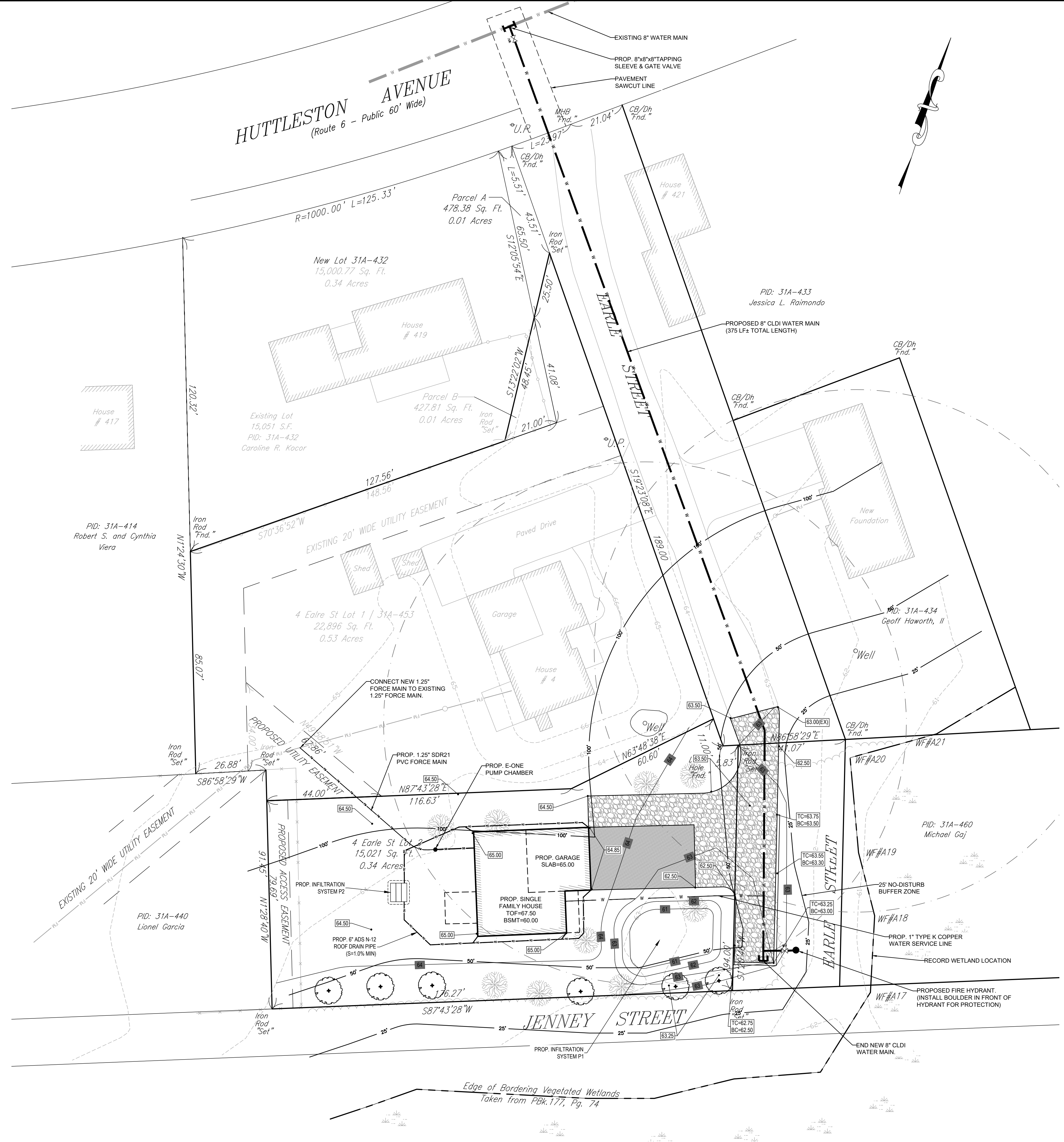
WETLAND NOTES:

- ANY DISTURBED UPLAND AREAS SHALL BE SEEDED WITH CONSERVATION/WILDLIFE SEED MIX.
- PROPOSED DEAN END GRAVEL ROAD SHALL BE LOCATED OUTSIDE THE 25' WETLAND BUFFER ZONE.
- EROSION CONTROL BARRIER SHALL REMAIN FOR THE DURATION OF CONSTRUCTION ACTIVITIES.



ZONING SUMMARY						
ZONING DISTRICT: RESIDENTIAL A (RA)						
SUB DISTRICT: N/A						
CRITERIA	REQUIRED	EXISTING	PROPOSED LOT 1	COMPLIANCE	PROPOSED LOT 2	COMPLIANCE
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**GENERAL NOTES:**

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2. NEW LOT (4 EARLE ST LOT 2) WILL BE CREATED BY SUBDIVIDING 4 EARLE ST MAP 31A LOT 453 INTO TWO (2) NEW LOTS
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5. THE PROJECT AREA IS NOT WITHIN A FEMA ZONE A
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**WETLAND NOTES:**

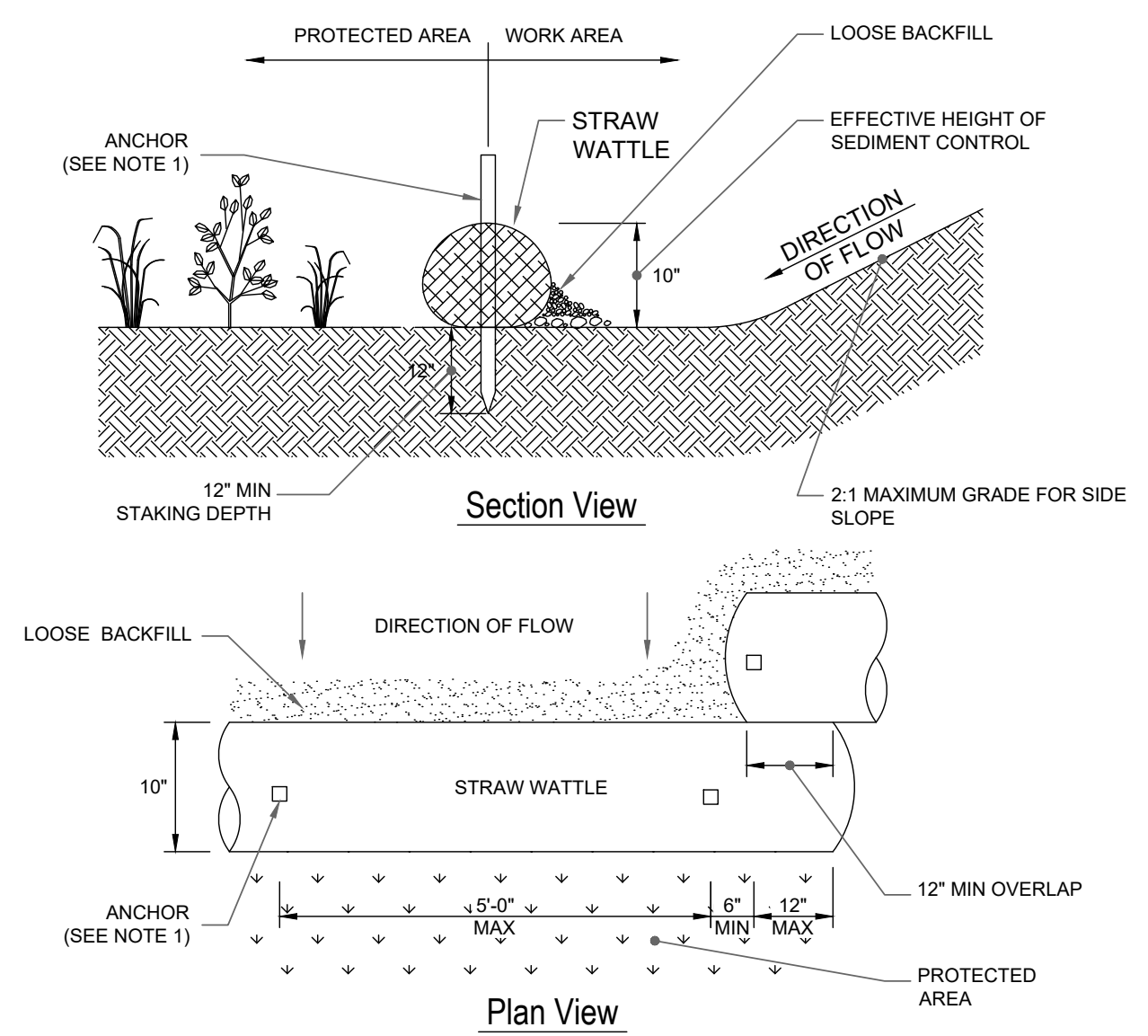
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3. EROSION CONTROL BARRIER SHALL REMAIN FOR THE DURATION OF CONSTRUCTION ACTIVITIES.

**STORMWATER NOTES:**

1. PROPOSED INFILTRATION SYSTEM HAS BEEN DESIGNED TO CAPTURE RUNOFF FROM PROPOSED GRAVEL ROAD EXTENSION AND PROPOSED PAVED DRIVEWAY

HYDROLOGIC CALCULATIONS	
IMPERVIOUS AREA TO BE INFILTRATED.	
TOTAL ROOF AREA = 1,680± SF	
1)	UNDERGROUND STORMWATER INFILTRATION SYSTEM HAS BEEN DESIGNED TO FULLY INFILTRATE THE 2 YEAR STORM EVENT (3.20" OF RAINFALL) OF THE ROOF.
2)	SOILS INFILTRATION RATE OF 2.41 IN/HR IS BASED ON RAWLS RATE FOR LOAMY SANDY SOILS.

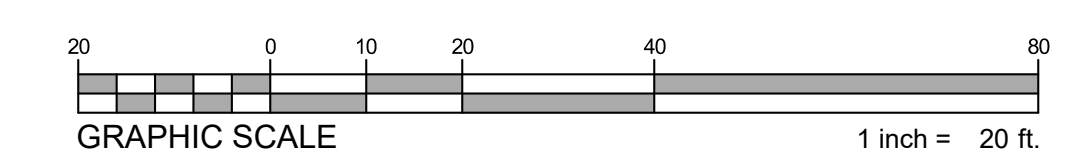
DRAINAGE SCHEDULE	
INFILTRATION/DETENTION SYSTEM #P2	
3 - 150HD CULTEC RECHARGER	
BOTTOM OF STONE:	61.00
BOTTOM OF CHAMBER:	61.50
TOP OF CHAMBER:	63.00
TOP OF STONE:	63.50
INV(IN 6"):	62.00



**CONSTRUCTION NOTES**

1. ANCHOR TO BE A 2" X 2" X 36" HARD WOOD STAKE, OR APPROVED EQUAL.
2. EROSION CONTROL SHALL BE REMOVED ONCE VEGETATION HAS BEEN ESTABLISHED.
3. STRAW WATTLE SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN DAYS OR PER LOCAL AND STATE REQUIREMENTS. REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY, AS NEEDED.
4. METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.

STRAW WATTLE EROSION CONTROL BARRIER  
N.T.S.



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**SUBDIVISION PLAN  
FOR 4 EARLE ST**

**PROPOSED GRADING  
& UTILITY FOR 4 EARLE ST  
LOT 2**

Drawing Title

Project No. 25004	Checked AK	Date 03.31.2026
Designed AK/BB	Approved AK	Scale AS SHOWN

Drawing No.

**C-3**

Seal

Owner/Applicant

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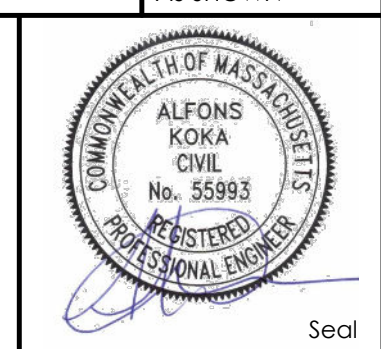
**DETAILS**

Drawing Title

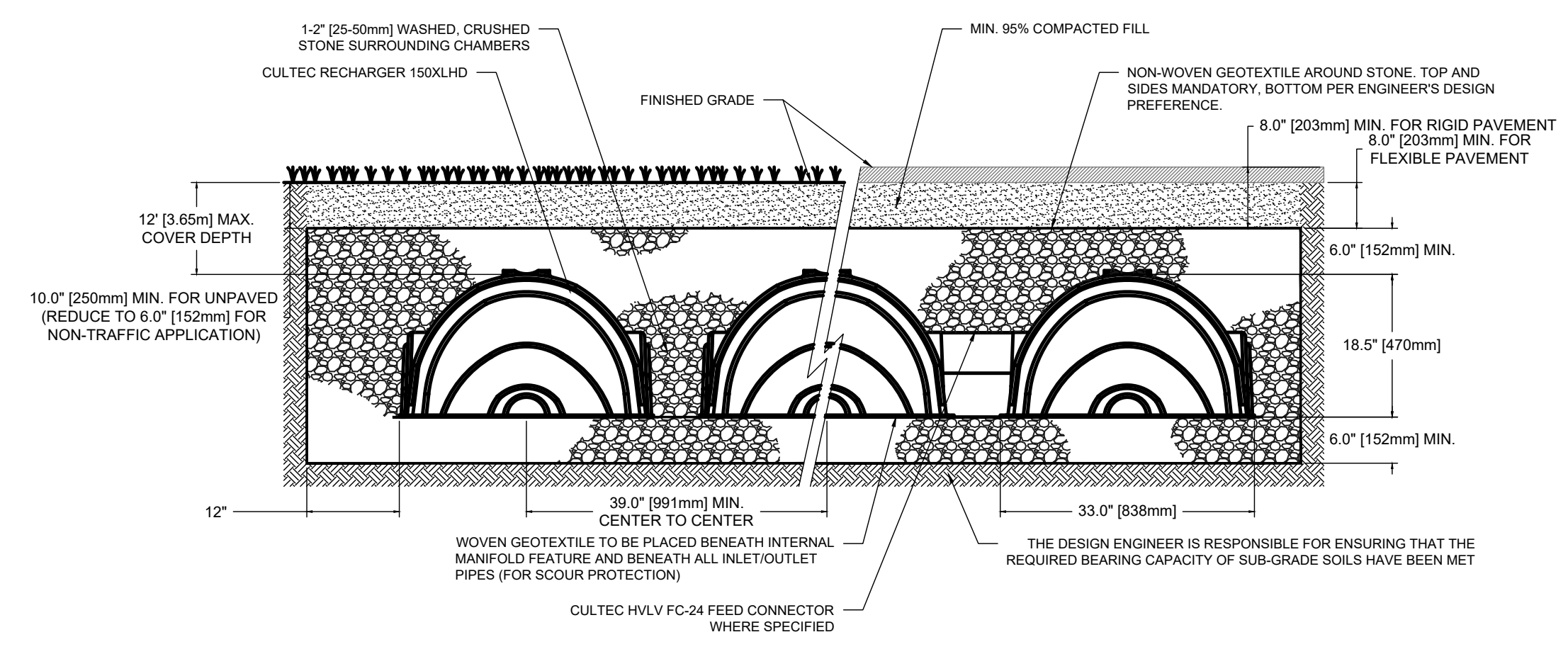
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Drawing No.

**C-4**

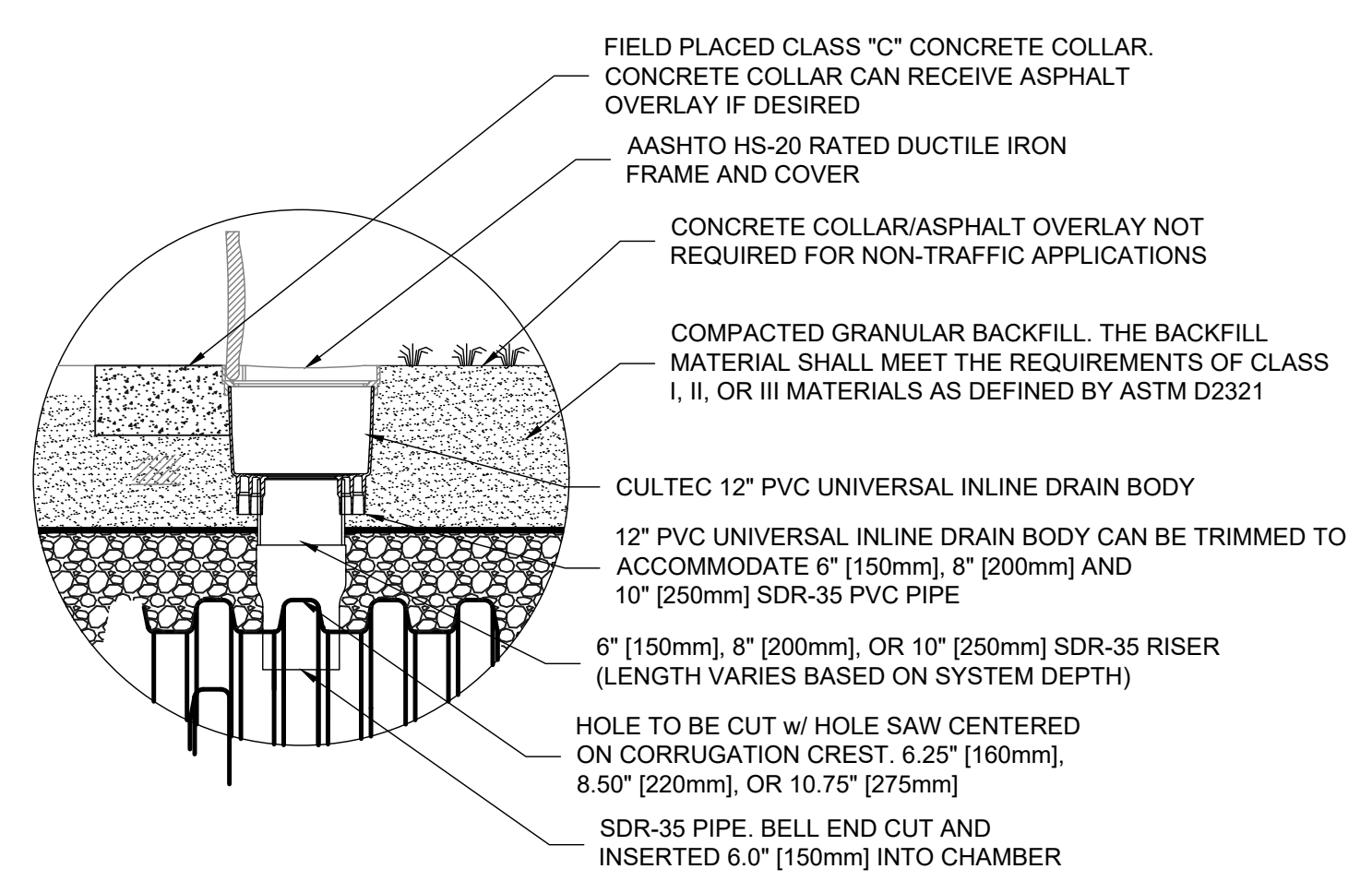


Seal



**CULTEC RECHARGER 150 HD CROSS SECTION**

NOT TO SCALE



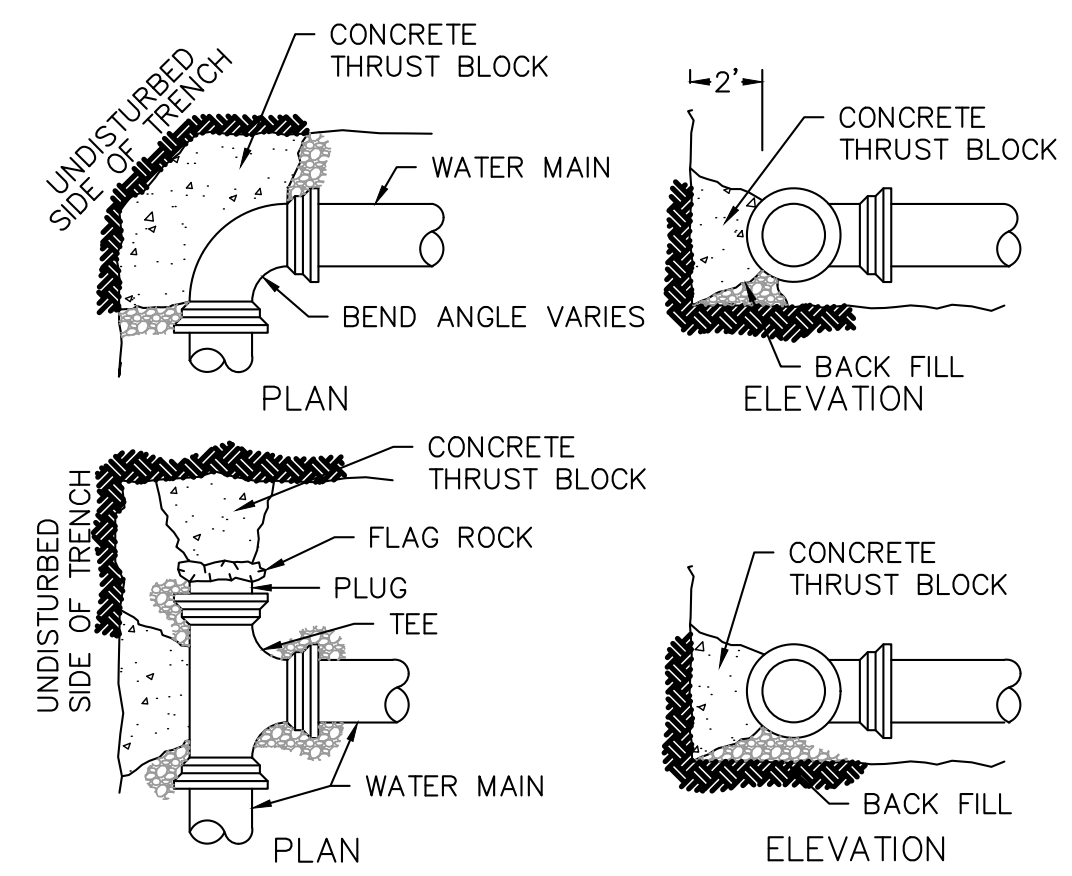
**CULTEC RECHARGER 150 HD INSPECTION PORT**

NOT TO SCALE

- NOTES:
- ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
  - ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
  - SIZE OF CONCRETE THRUST BLOCKS SHALL BE AS NOTED BELOW.
  - MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.
  - KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.
  - THE BELOW PRECATED ON A WATER PRESSURE OF 225 PSI AND A SOIL RESISTANCE OF 2000 PSF (TILL). FOR OTHER SOILS THE VALUES IN THE ABOVE TABLE SHALL BE MULTIPLIED BY:

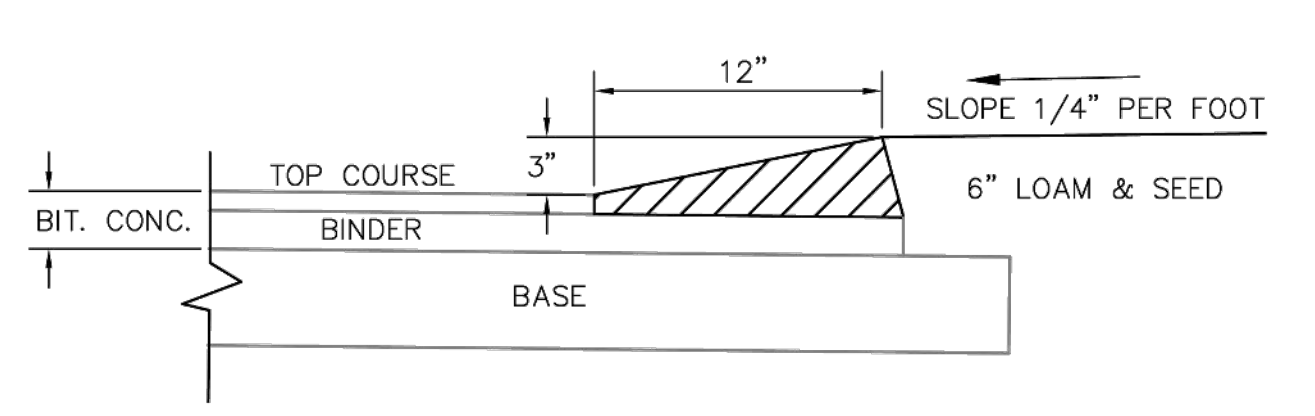
SOFT CLAY	4
SAND	2
SAND & GRAVEL	1.33
SHALE	0.4

PIPE DIAMETER	MINIMUM THRUST BLOCK BEARING AREAS			TEES, PLUGS, CAPS & HYDRANTS (SQ.FT.)
	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22.5° BEND (SQ. FT.)	
6"	5	3	3	4
8"	9	6	3	9
10"	13	7	4	12
12"	20	10	5	16



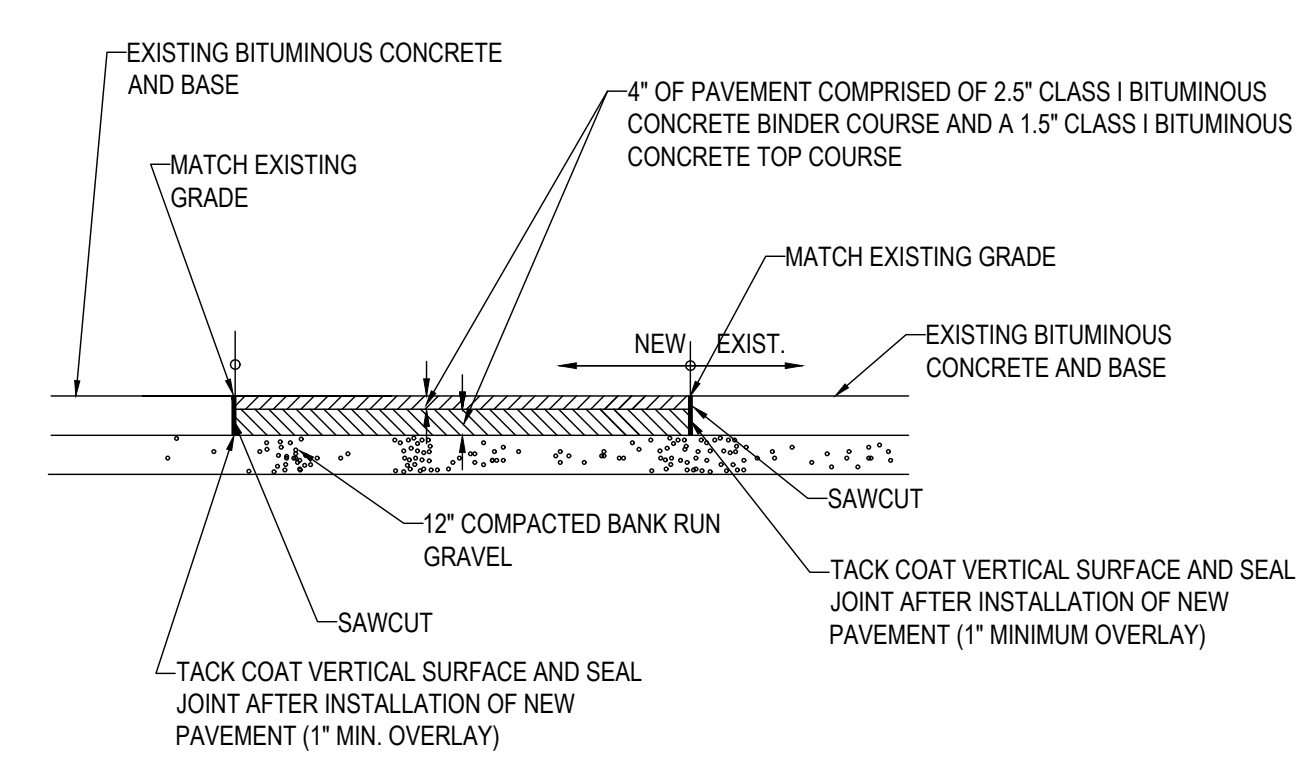
**TYPICAL THRUST BLOCK DETAIL**

NOT TO SCALE



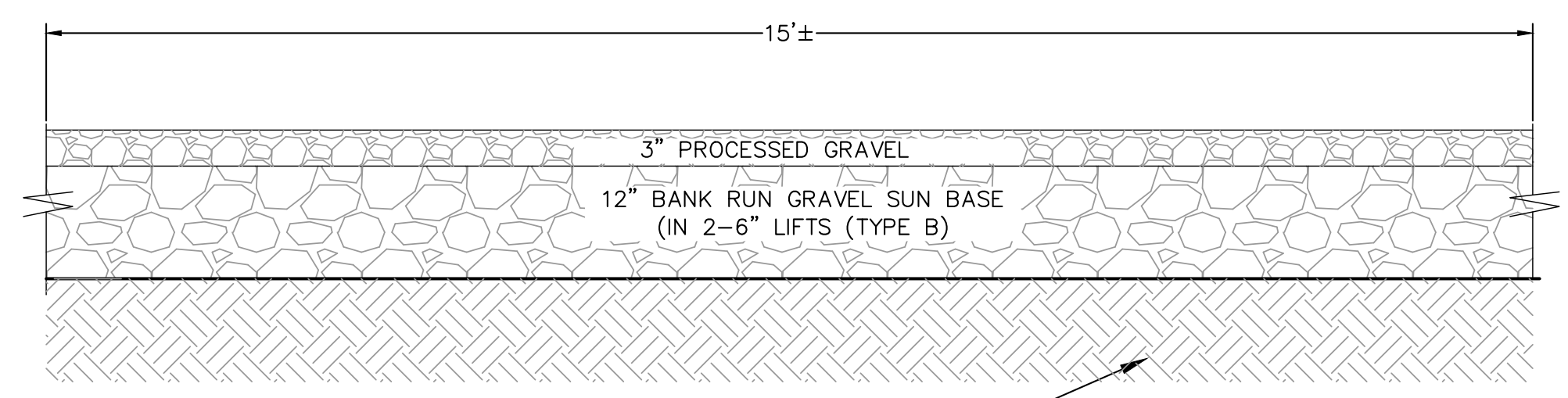
**BITUMINOUS CONCRETE BERM DETAIL**

NOT TO SCALE



**ROADWAY PATCHING DETAIL**

NOT TO SCALE

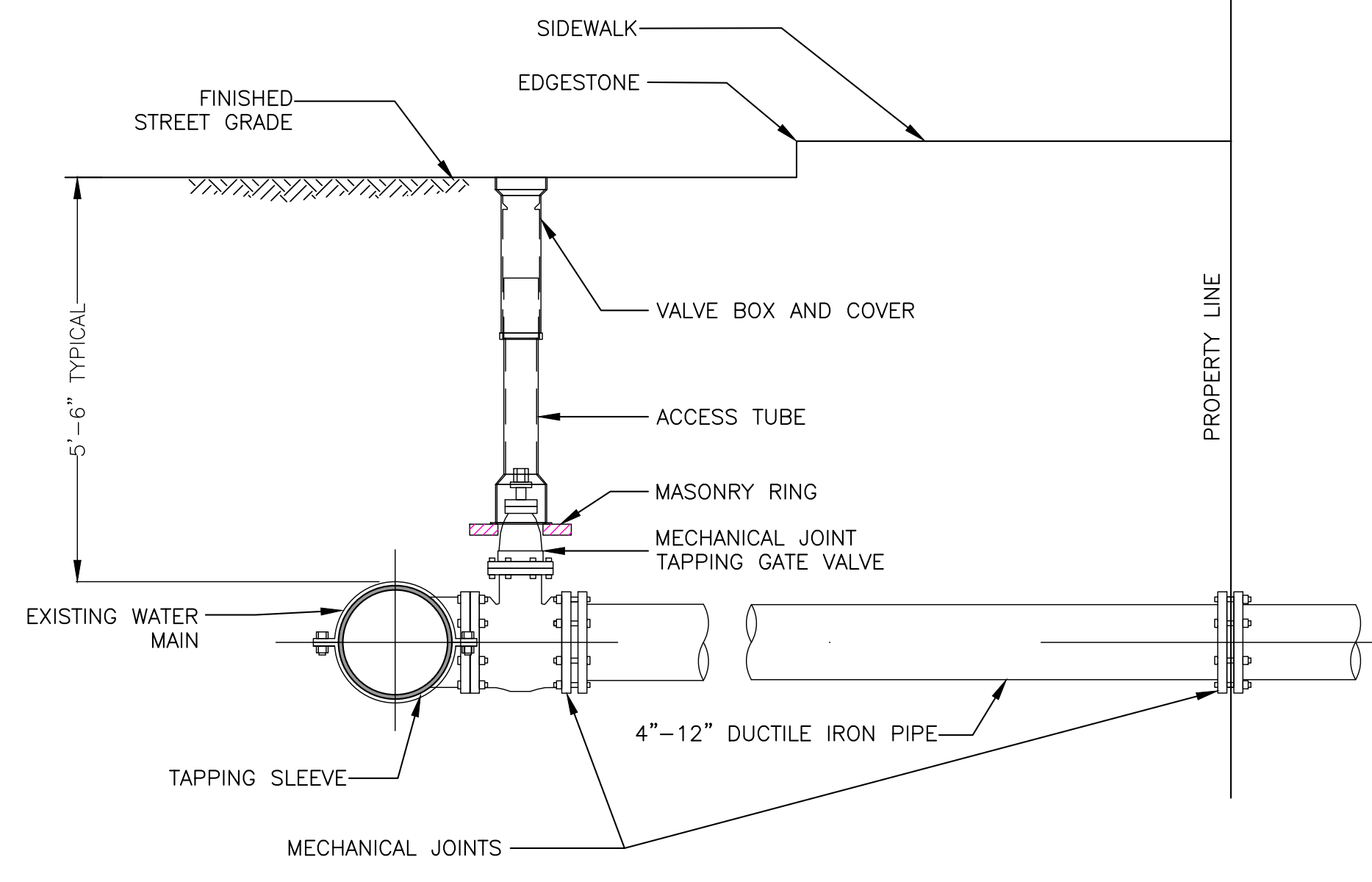


**GRAVEL ROAD DETAIL**

NOT TO SCALE

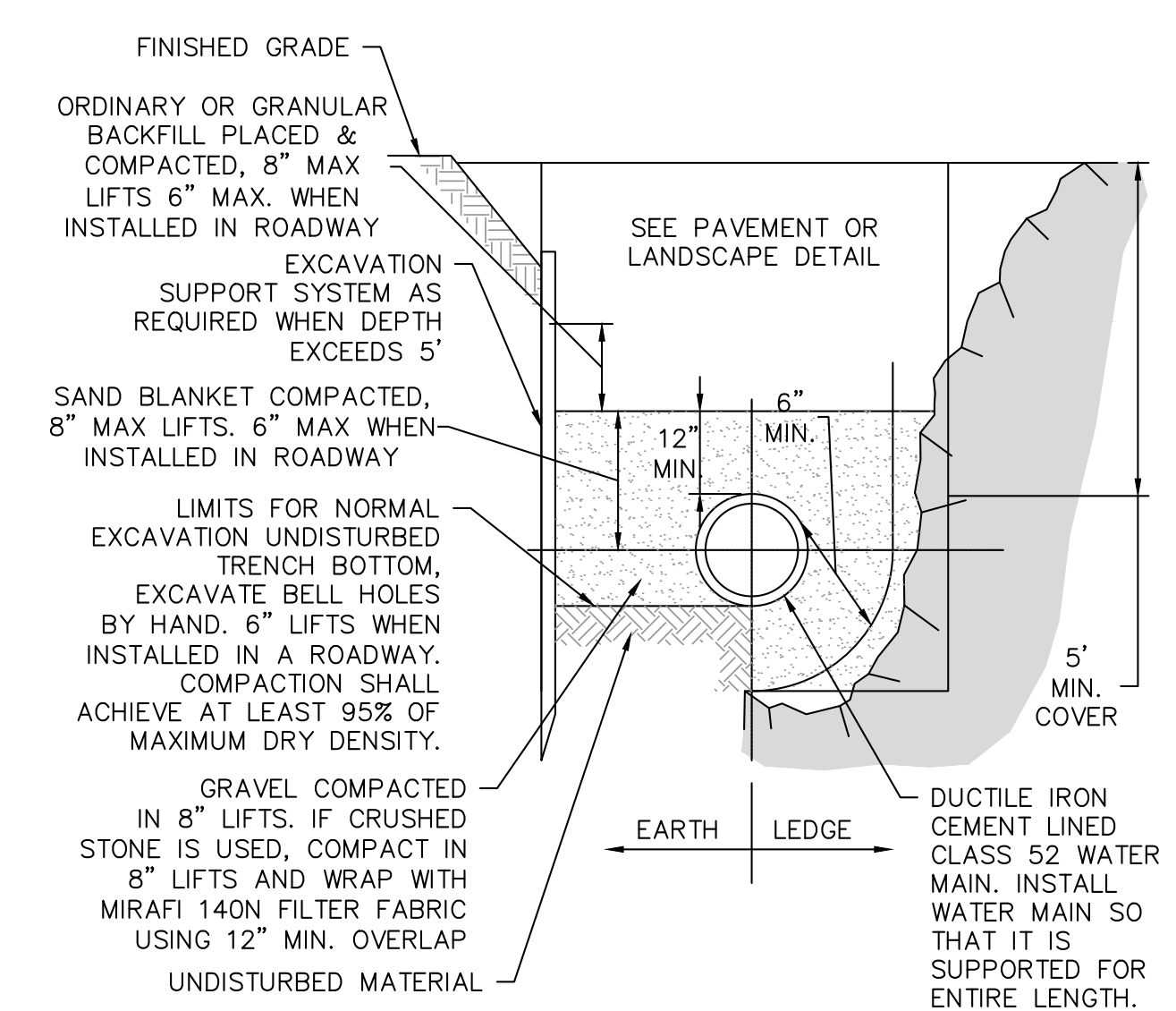
- NOTES:
- REFER TO SHEET C3 FOR GRADING DETAILS.

- NOTES:
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH
  - USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE
  - SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS



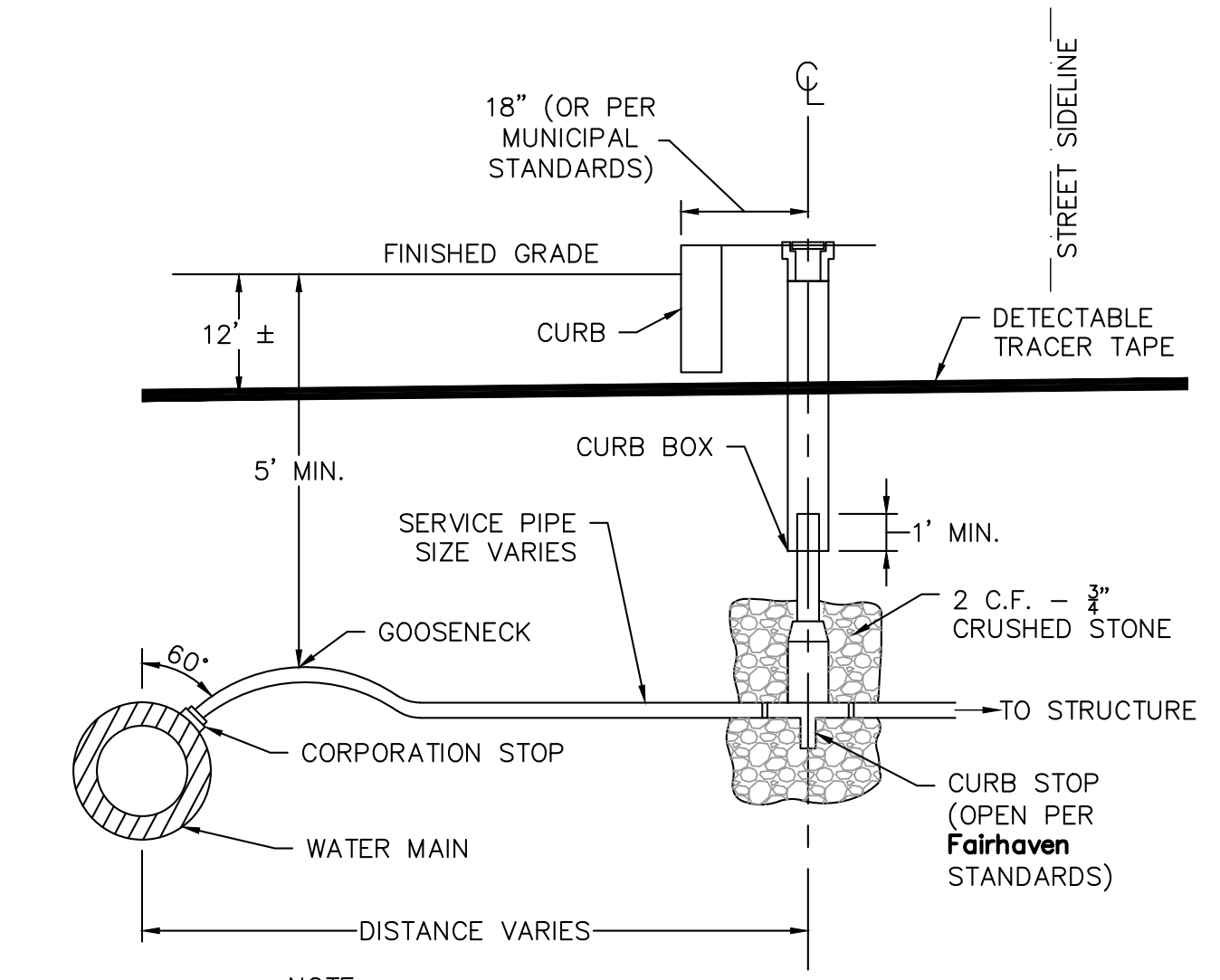
**TAPPING SLEEVE & GATE VALVE**

NOT TO SCALE



**TYPICAL WATER TRENCH DETAIL**

NOT TO SCALE



**WATER CONNECTION DETAIL**

NOT TO SCALE

- NOTE:
- WATER SERVICES LARGER THAN 1" ARE TO BE RESTRAINED TO WATER MAIN W/ APPROVED SADDLE.



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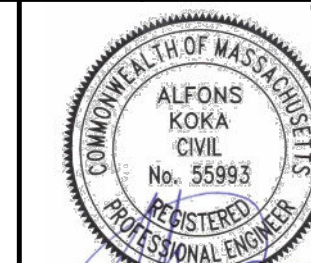
**FIRE APPARATUS  
 TURNING STUDY**

Drawing Title

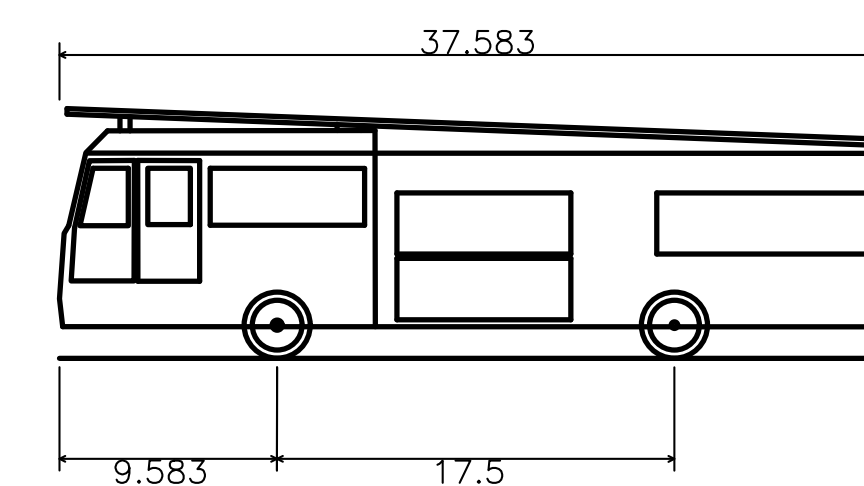
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Designed	Approved	Scale
AK/BB	AK	AS SHOWN

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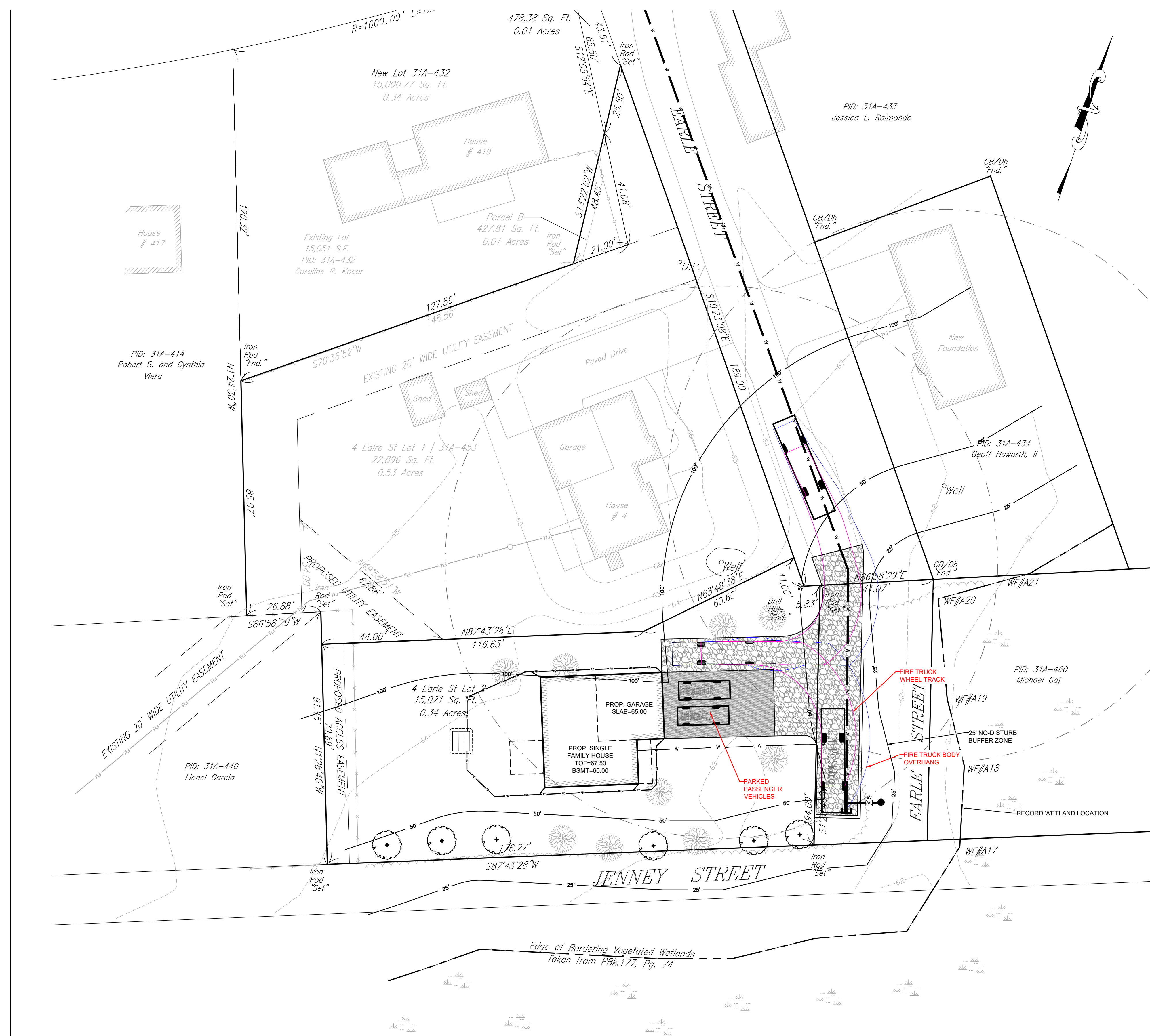
**C-5**

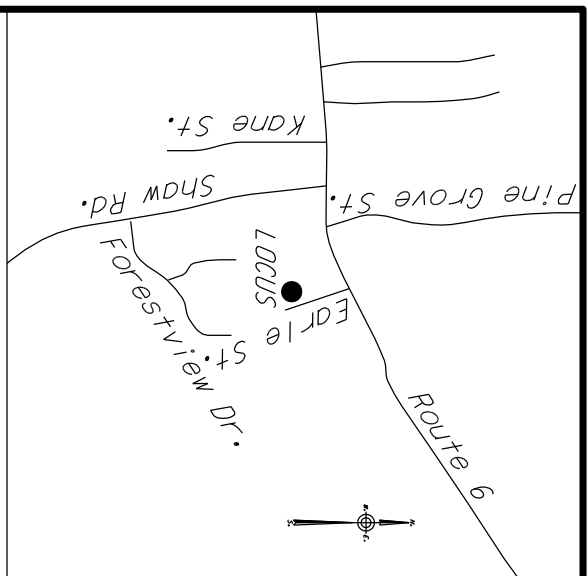


Seal

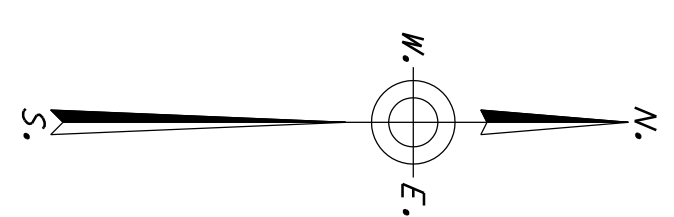


E-ONE HP75 SideStacker  
 Overall Length 37.583ft  
 Overall Width 8.333ft  
 Overall Body Height 11.000ft  
 Min Body Ground Clearance 1.393ft  
 Track Width 8.333ft  
 Lock-to-lock time 6.00s  
 Max Wheel Angle 45.00°

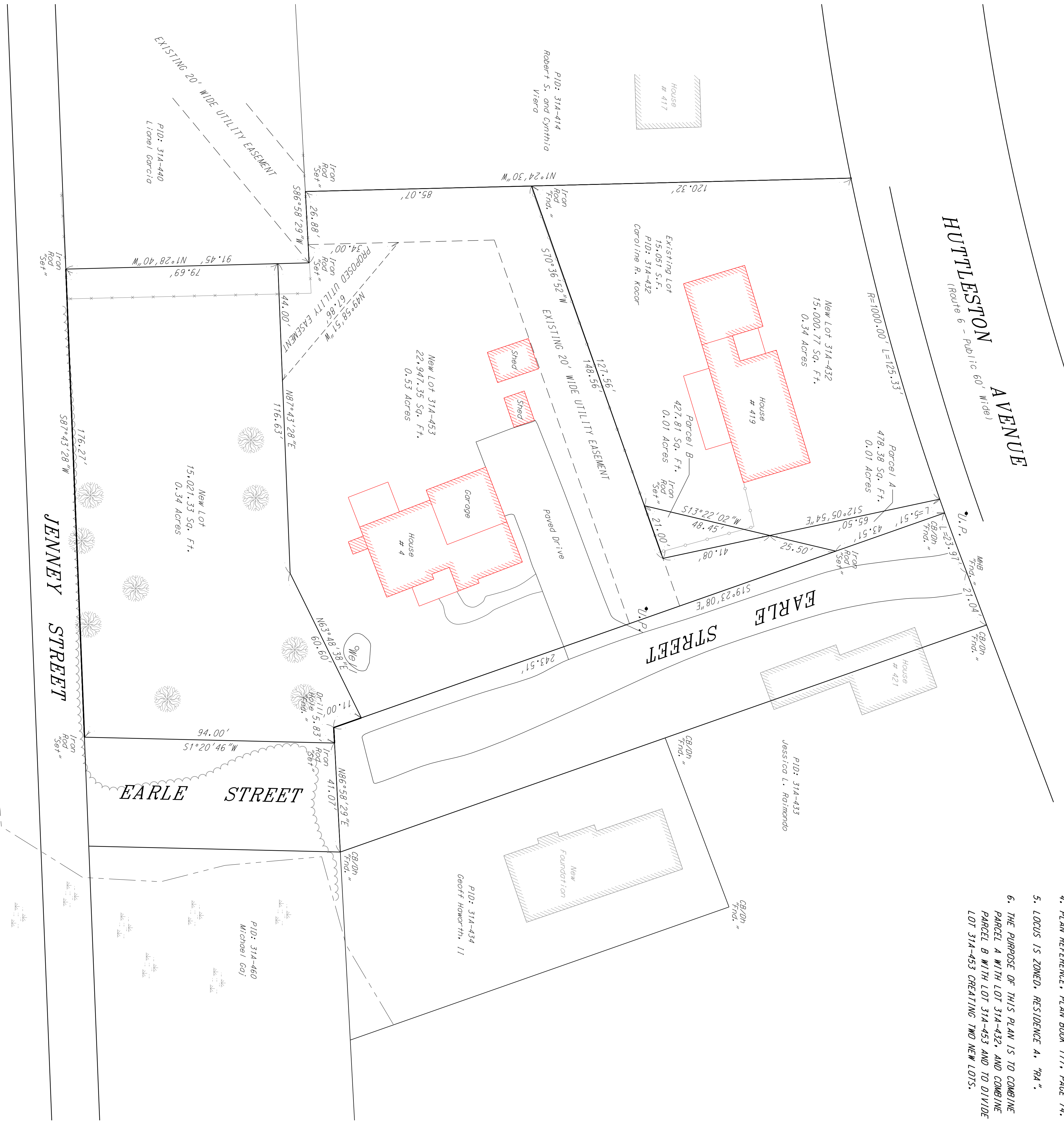




Approval Under Subdivision  
Control Law Not Required.  
Date: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Fairhaven Planning Board



- NOTES:
1. PROPERTY OWNERS: JOEL & TASHIA R. CORDEIRO  
4 EARLE STREET  
FAIRHAVEN, MA 02719  
PID 314-453  
DEED BK. 12926, PG. 80  
CAROLINE R. KOOR  
419 HUTTLESTON AVE.  
FAIRHAVEN, MA 02719  
PID 314-432  
DEED BK. 7789, PG. 152
  2. LAND SURVEYOR: RUSSELL A. FIRTH, P.L.S.  
AMERICAN LAND SURVEYS  
3 SUNSET LANE  
FAIRHAVEN, MA 02719
  3. LOCUS IS SHOWN AS LOTS 432, 453,  
PLAT 314 OF THE TOWN OF FAIRHAVEN  
ASSESSOR'S MAPS.
  4. PLAN REFERENCE: PLAN BOOK 177, PAGE 74.
  5. LOCUS IS ZONED: RESIDENCE A, "RA".
  6. THE PURPOSE OF THIS PLAN IS TO COMBINE  
PARCEL A WITH LOT 314-432, AND COMBINE  
PARCEL B WITH LOT 314-453 AND TO DIVIDE  
LOT 314-453 CREATING TWO NEW LOTS.



I certify that this plan has been prepared  
in conformity with the rules and regulations  
of the Registrars of Deeds of the Commonwealth  
of Massachusetts.

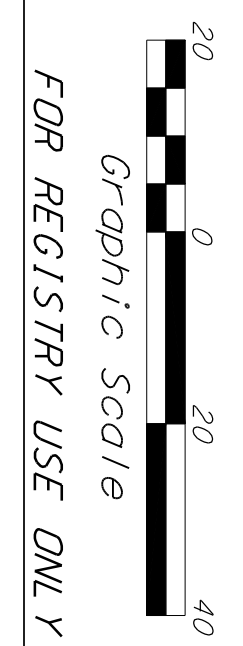
03/21/2025  
Date Professional Land Surveyor

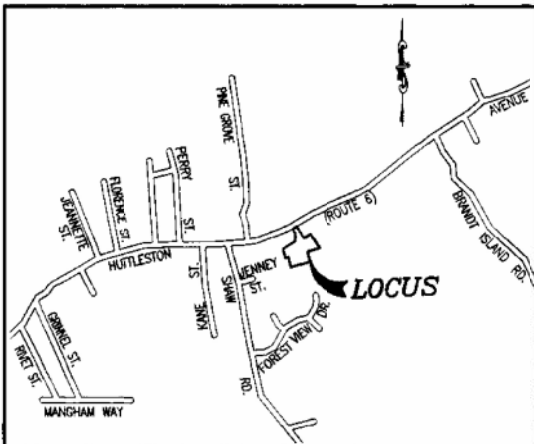
"PRELIMINARY DRAFT"  
APPROVAL NOT REQUIRED PLAN  
DRAWN FOR:  
**JOEL CORDEIRO**  
IN  
**FAIRHAVEN, MASSACHUSETTS**

SCALE: 20 feet to an inch March 21, 2025  
American Land Surveys  
3 Sunset Lane  
Fairhaven, Massachusetts

Zone:  
Rural Residential  
District (RA)  
Setbacks:  
Front 20'  
Side 10'  
Rear 30'  
Building Height=35'  
Lot Area=15,000 S.F.  
Frontage=100'  
Contiguous Upland=13,500 S.F.  
Percent Min. Lot Area=90%  
Coverage!

Lot=50%, Proposed=27%  
Building=30%, Proposed=14%  
Accessory Structure  
Requirements:  
Building Setback 5'  
Building Area= 700 S.F.  
Building Height= 20'





**LOCUS MAP**

SCALE: 1"=800'±

**NOTE:**

1. THE INTENT OF THIS PLAN IS TO MODIFY THE RIGHT OF WAY FOR EARLE STREET AND TO CREATE PHYSICAL ACCESS TO A NEW LOT (LOT 1).

**LOCUS:** ASSESSORS MAP 31A, LOTS 434, 453

**ZONING DISTRICT:** SINGLE RESIDENCE - RA

**FLOOD ZONE:** PROPERTY IS NOT LOCATED IN A FEMA DESIGNATED FLOOD HAZARD ZONE

**RECORD OWNER:** MARY VANDER POL  
49 ELEANORS WAY  
BRENTWOOD, NH 03833

**APPLICANT:** VCORP, LLC  
968 KEMPTON STREET  
NEW BEDFORD, MA 02740

**DEED REFERENCE:** BOOK 10643 - PAGE 255

**LOT DEVELOPMENT REQUIREMENTS**

- MINIMUM LOT AREA - 15,000 SF
- MINIMUM FRONTAGE - 100 FEET
- CONTIGUOUS UPLAND - 13,500 SF
- SETBACKS:
  - FRONT - 20 FEET
  - SIDE - 10 FEET
  - REAR - 30 FEET
- MAXIMUM LOT COVERAGE - 50%
- MAXIMUM BUILDING COVERAGE - 30%

CB CONCRETE BOUND TO BE SET

**WAIVER LIST**

**322-16A GENERAL PROVISIONS**

- A.7 WAIVER TO ALLOW CENTER LINE OF ROADWAY TO BE OFFSET FROM THE CENTER LINE OF THE STREET RIGHT-OF-WAY.
- A.8 WAIVER TO ALLOW A CURVE IN THE STREET WITHIN 100 FEET OF THE INTERSECTION.
- A.10 WAIVER TO ALLOW A 50 FOOT VERTICAL CURVE WITH A 4% GRADE DIFFERENTIAL.
- A.13 WAIVER OF GRADING AND LOCATION OF ELEMENTS FROM THE STANDARD CROSS SECTION.

**322-16B STREET DESIGN STANDARDS**

WAIVER OF RIGHT-OF-WAY WIDTH, TRAVEL WAY PAVEMENT/CAPE COD BERMS, SIDEWALK REQUIREMENT, MINIMUM REVERSE CURVE TANGENT.

**STREET CROSS SECTIONS**

WAIVER OF C-9 RESIDENTIAL LANE WITH CURB, C-10 RESIDENTIAL LANE WITH CAPE COD BERM, C-14 HAMMERHEAD DETAIL, C-16 CONCRETE SIDEWALK DETAIL, AND C-21 TRIPLE STONE SEAL ROADWAY DETAIL.

**322-27 UTILITIES**

- A.3 WAIVER TO NOT REQUIRE MUNICIPAL WATER FOR FUTURE CONNECTIONS TO PROPERTY BOUNDARIES.

**322-32 CURBING**

WAIVER OF CURBING REQUIREMENTS EXCEPT WITHIN ROUTE 6 LAYOUT.

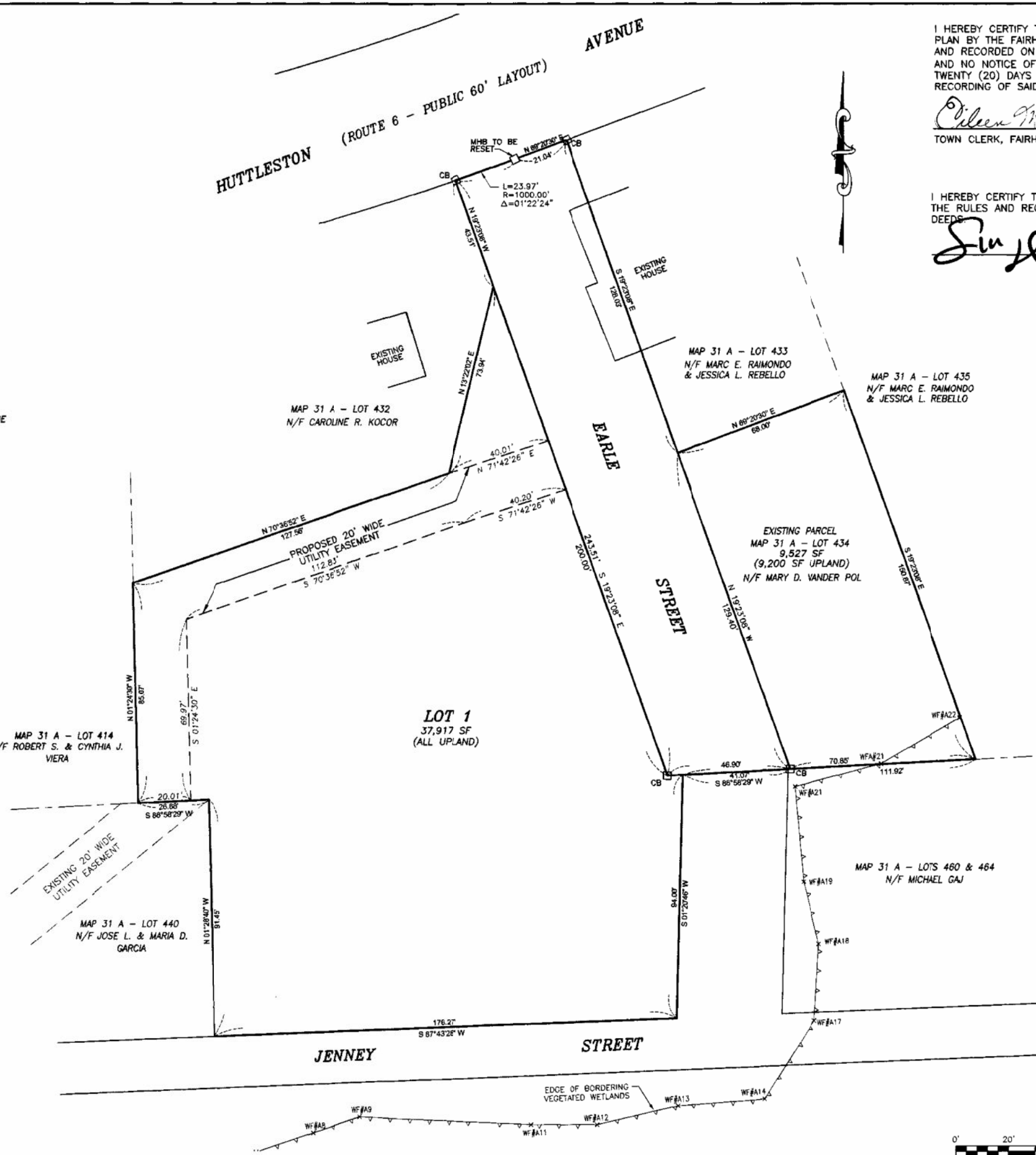
**322-33 DRIVEWAY APPROACH AREAS**

- A. WAIVER TO ALLOW BITUMINOUS DRIVEWAY APPROACH.

**322-37 FIRE ALARM SYSTEM**

**322-49 ACCEPTANCE PLAN**

STREET IS PROPOSED TO REMAIN PRIVATE.



I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE FAIRHAVEN PLANNING BOARD WAS RECEIVED AND RECORDED ON AUGUST 16, 2017 AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

*Cileen M. Lowne* - APRIL 27, 2018  
TOWN CLERK, FAIRHAVEN, MA DATE

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

*Smj* 3/21/2018  
DATE

2018 04/27/2018  
Bk: 177 Pg: 74 Pg: 1 of 1 BS  
Doc: PLAN 04/27/2018 10:40 AM

Covenant  
04-27-18  
12423-82

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW

**FAIRHAVEN PLANNING BOARD**

*Wendy Hagan*  
*Jack Hill*  
*Bob*  
*Andrew*  
*Jeffrey Lewis*

DATE: April 27, 2018

THE SUBDIVISION IS SUBJECT TO A COVENANT (FORM D) TO BE RECORDED HERewith: BOOK 10423, PAGE 82

**DEFINITIVE SUBDIVISION OF MODIFIED EARLE STREET IN FAIRHAVEN, MASSACHUSETTS**

PREPARED FOR  
**VCORP, LLC**  
SCALE: 1"=20' MARCH 6, 2017  
REVISED JUNE 6, 2017

PREPARED BY  
**SITEC**  
Civil and Environmental Engineering  
Land Use Planning  
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