

PRELIMINARY SUBDIVISION PLAN FOR 4 EARLE ST



102 State Rd | Unit #F
North Dartmouth, MA 02747
Tel: (508)-730-9515

4 EARLE ST FAIRHAVEN, MASSACHUSETTS 02719

SHEET INDEX

KBM DESIGN GROUP SHEET LIST

SHEET NO.	SHEET TITLE
C-1	TITLE SHEET
C-2	PROPOSED SITE PLAN
C-3	PROPOSED GRADING & UTILITY PLNA
C-4	DETAIL SHEET
C-5	FIRE APPARATUS TURNING STUDY

SUPPORTING DRAWINGS

	EXISTING CONDITIONS PLAN
	RECORD SUBDIVISION PLAN



PROPERTY INFORMATION

OWNER	APPLICANT
COASTAL VILLAGE PARTNERS LLC C/O JOEL CORDERO 4 Earle Street Fairhaven, MA 02719 Tel: (508) 317-1771	COASTAL VILLAGE PARTNERS LLC C/O JOEL CORDERO 4 Earle Street Fairhaven, MA 02719 Tel: (508) 317-1771

ASSESSOR'S INFORMATION
Map 31A, Lot 453

PROJECT TEAM

CIVIL ENGINEER	SURVEYOR
KBM Design Group LLC 102 State Road Suite F Dartmouth MA 02747 Tel: (508) 730-9515	AMERICAN LAND SURVEYS 3 Sunset Lane Fairhaven, MA 02719 Tel: (508) 284-0699

SUBMISSION INFO

ISSUED FOR: PLANNING BOARD APPROVAL
DATE ISSUED: MARCH 31, 2026
REVISED: MAY 14 2026

COASTAL VILLAGE PARTNERS LLC
C/O JOEL CORDERO
4 EARLE ST
FAIRHAVEN, MA 02719

Owner/Applicant

AMERICAN LAND SURVEYS
3 SUNSET LANE
FAIRHAVEN, MA 02719

Consultant:

ISSUED FOR PLANNING BOARD APPROVAL
(NOT APPROVED FOR CONSTRUCTION)

Issue Type

4 EARLE STREET
FAIRHAVEN MA 02719

Date	Per. PB Comments	AK	1
5.14.26			

SUBDIVISION PLAN
FOR 4 EARLE ST

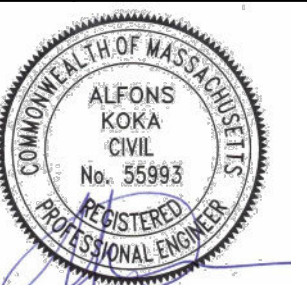
TITLE SHEET

Drawing Title

Project No. 25004	Checked AK	Date 03.31.2026
Designed AK/BB	Approved AK	Scale AS SHOWN

Drawing No.

C-1



Seal

ZONING SUMMARY						
ZONING DISTRICT: RESIDENTIAL A (RA)						
SUB DISTRICT: N/A						
CRITERIA	REQUIRED	EXISTING	PROPOSED LOT 1	COMPLIANCE	PROPOSED LOT 2	COMPLIANCE
MIN. LOT AREA	15,000 SF	37,917 SF	22,947 SF	YES	15,021 SF	YES
CONTIGUOUS UPLAND	13,500 SF	37,917 SF	22,947 SF	YES	15,021 SF	YES
MIN. LOT FRONTAGE	100 FT	299.83	189.00	YES	110.83 FT	YES
MAX. BUILDING HEIGHT	35 FT	<35 FT	<35 FT	YES	<35 FT	YES
FRONT YARD	20 FT	32.4 FT	32.4 FT	YES	34 FT	YES
SIDE YARD	10 FT	51.3 FT	22.3 FT	YES	11.5 FT	YES
REAR YARD	30 FT	87.6 FT	87.6 FT	YES	80 FT	YES
LOT COVER (%)	50 %	4,269 SF (11.26%)	4,269 SF (18.6%)	YES	3,245 SF (21.6%)	YES
MAX BLDG COVER (%)	30 %	2,185 SF (5.7%)	2,185 SF (9.5%)	YES	1,375 SF (9.1%)	YES

WAIVER REQUEST LIST:

322-16A GENERAL PROVISIONS

- A.7 WAIVER TO ALLOW CENTER LINE OF ROADWAY TO BE OFFSET FROM THE STREET RIGHT OF WAY.
- A.13 WAIVER OF GRADING AND LOCATION OF ELEMENTS FROM THE STANDARD CROSS SECTION.

322-16B STREET DESIGN STANDARDS

WAIVER OF RIGHT OF WAY WIDTH, TRAVEL WAY, PAVEMENT/CAPE COD BERMS, SIDEWALK REQUIREMENTS, MINIMUM REVERSE CURVE TANGENT.
STREET CROSSE SECTIONS: WAIVER OF C-9 TABLE A: RESIDENTIAL LANE WIDTH WITH CURB, RESIDENTIAL LANE WIDTH WITH CAPE COD BERM, PAVED SIDEWALK, MINIMUM CENTERLINE RADIUS, HAMMER HEAD.

322-31D CURBING

WAIVER OF UNDERGROUND ELECTRIC, GAS AND TELECOM TO BE INSTALLED TO BE INSTALLED AT EACH LOT.

322-32 CURBING

WAIVER OF CURBING REQUIREMENTS.

322-49 ACCEPTANCE PLAN

EXISTING STREET IS PRIVATE AND IS PROPOSED TO REMAIN PRIVATE



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COASTAL VILLAGE PARTNERS LLC
 C/O JOEL CORDERO
 4 EARLE ST
 FAIRHAVEN, MA 02719

Owner/Applicant

AMERICAN LAND SURVEYS
 3 SUNSET LANE
 FAIRHAVEN, MA 02719

Consultant:

ISSUED FOR PLANNING
 BOARD APPROVAL
 (NOT APPROVED FOR CONSTRUCTION)

Issue Type

4 EARLE STREET
 FAIRHAVEN MA 02719

Date	Per. PB Comments	AK	1
5.14.26			

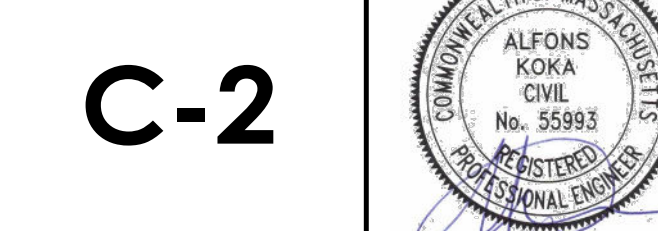
SUBDIVISION PLAN
 FOR 4 EARLE ST

PROPOSED SITE PLAN
 FOR 4 EARLE ST
 LOT 2

Drawing Title

Project No. 25004	Checked AK	Date 03.31.2026
Designed AK/BB	Approved AK	Scale AS SHOWN

Drawing No.



C-2

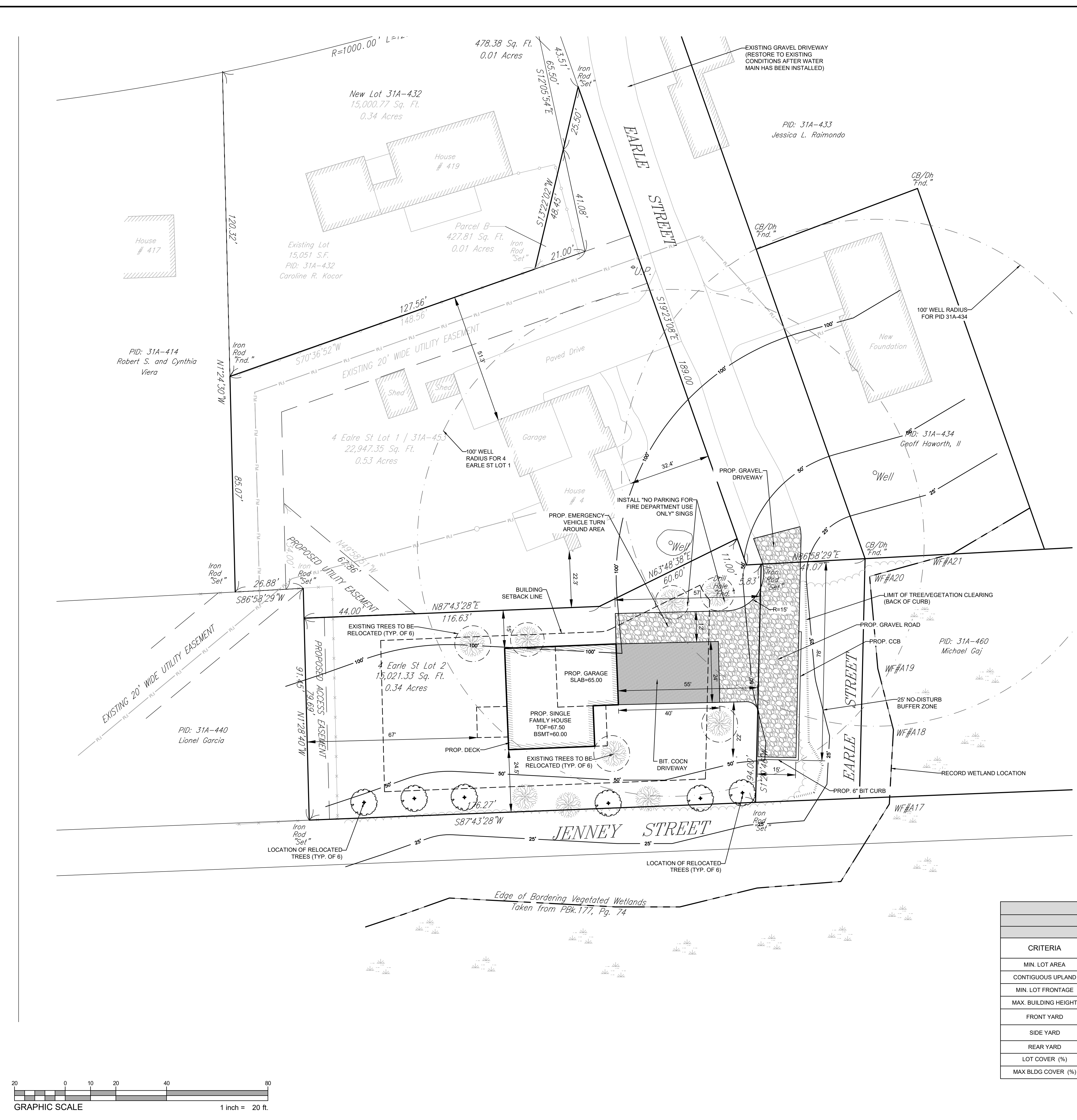
Seal

GENERAL NOTES:

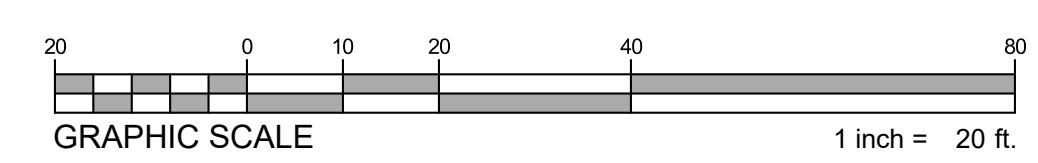
- THE INTENT OF THIS PLAN IS TO MODIFY THE RIGHT OF WAY FOR EARLE STREET AND TO CREATE PHYSICAL ACCESS TO A NEW LOT (4 EARLE ST LOT 2)
- NEW LOT (4 EARLE ST LOT 2) WILL BE CREATED BY SUBDIVIDING 4 EARLE ST MAP 31A LOT 453 INTO TWO (2) NEW LOTS
- EXISTING CONDITIONS HEREON DERIVED FROM ON THE GROUND TOPOGRAPHICAL SURVEY PERFORMED BY AMERICAN LAND SURVEYS MARCH 2025.
- WETLANDS SHOWN HEREON WERE DERIVED RECORD DESIGN PLANS AND ON SITE OBSERVATIONS FROM GODDARD CONSULTING NOVEMBER 2025.
- THE PROJECT AREA IS NOT WITHIN A FEMA ZONE A
- THE PROJECT IS NOT WITHIN A ZONE II RESOURCE OR WELLHEAD PROTECTION AREA.
- THE PROJECT IS NOT WITHIN A ZONE A SURFACE WATER PROTECTION AREA.

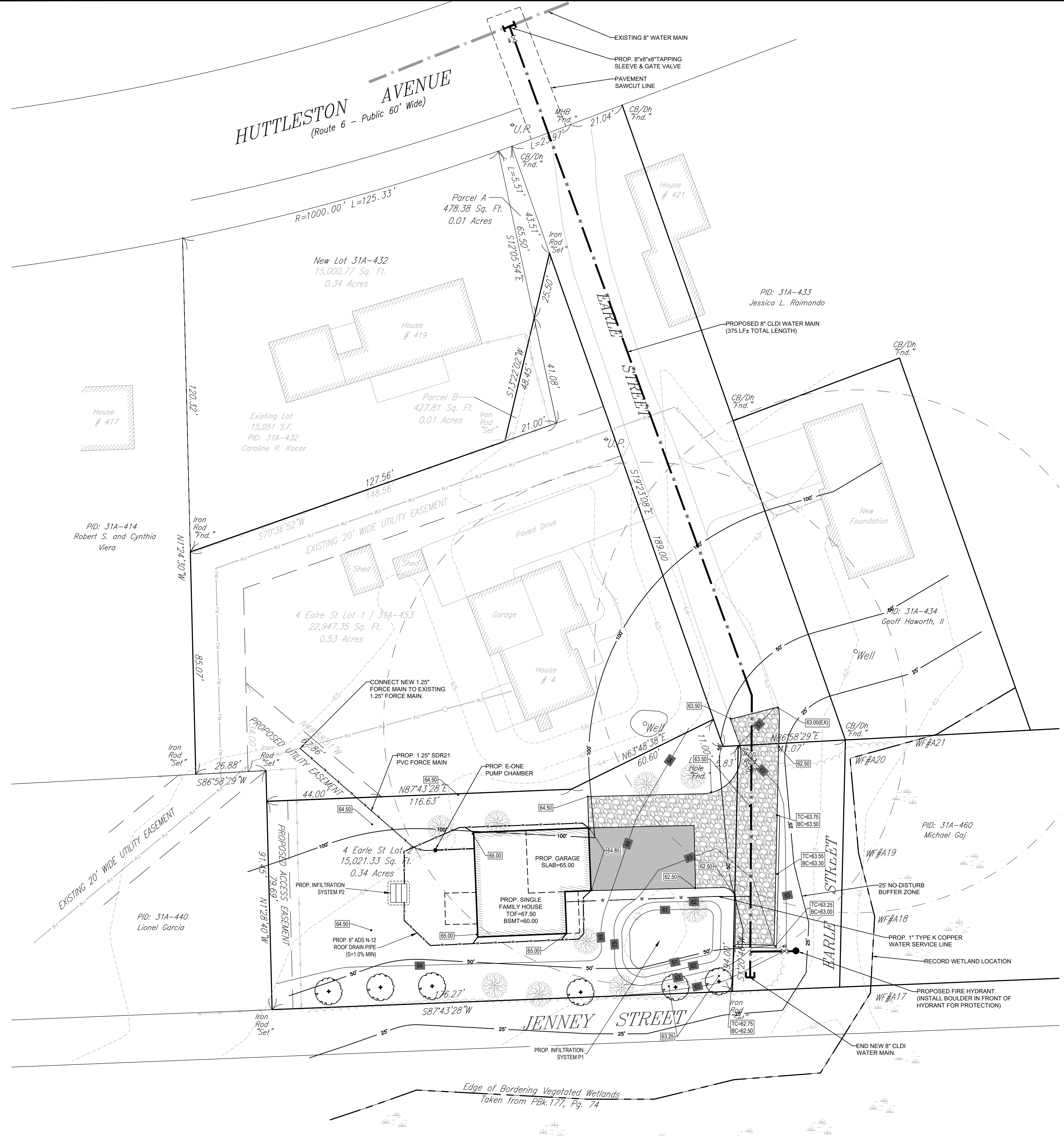
WETLAND NOTES:

- ANY DISTURBED UPLAND AREAS SHALL BE SEEDED WITH CONSERVATION/WILDLIFE SEED MIX.
- PROPOSED DEAN END GRAVEL ROAD SHALL BE LOCATED OUTSIDE THE 25' WETLAND BUFFER ZONE.
- EROSION CONTROL BARRIER SHALL REMAIN FOR THE DURATION OF CONSTRUCTION ACTIVITIES.



ZONING SUMMARY						
ZONING DISTRICT: RESIDENTIAL A (RA)						
SUB DISTRICT: N/A						
CRITERIA	REQUIRED	EXISTING	PROPOSED LOT 1	COMPLIANCE	PROPOSED LOT 2	COMPLIANCE
MIN. LOT AREA	15,000 SF	37,917 SF	22,947 SF	YES	15,021 SF	YES
CONTIGUOUS UPLAND	13,500 SF	37,917 SF	22,947 SF	YES	15,021 SF	YES
MIN. LOT FRONTAGE	100 FT	299.83	189.00	YES	110.83 FT	YES
MAX. BUILDING HEIGHT	35 FT	<35 FT	<35 FT	YES	<35 FT	YES
FRONT YARD	20 FT	32.4 FT	32.4 FT	YES	55 FT	YES
SIDE YARD	10 FT	51.3 FT	22.3 FT	YES	24.5 FT	YES
REAR YARD	30 FT	87.6 FT	87.6 FT	YES	67 FT	YES
LOT COVER (%)	50 %	4,269 SF (11.26%)	4,269 SF (18.6%)	YES	3,725 SF (25%)	YES
MAX BLDG COVER (%)	30 %	2,185 SF (5.7%)	2,185 SF (9.5%)	YES	1,680 SF (11%)	YES





GENERAL NOTES:

1. THE INTENT OF THIS PLAN IS TO MODIFY THE RIGHT OF WAY FOR EARLE STREET AND TO CREATE PHYSICAL ACCESS TO A NEW LOT (4 EARLE ST LOT 2)
2. NEW LOT (4 EARLE ST LOT 2) WILL BE CREATED BY SUBDIVIDING 4 EARLE ST MAP 31A LOT 453 INTO TWO (2) NEW LOTS
3. EXISTING CONDITIONS HEREON DERIVED FROM ON THE GROUND TOPOGRAPHICAL SURVEY PERFORMED BY AMERICAN LAND SURVEYS MARCH 2025.
4. WETLANDS SHOWN HEREON WERE DERIVED RECORD DESIGN PLANS AND ON SITE OBSERVATIONS FROM GODDARD CONSULTING NOVEMBER 2025.
5. THE PROJECT AREA IS NOT WITHIN A FEMA ZONE A
6. THE PROJECT IS NOT WITHIN A ZONE II RESOURCE OR WELLHEAD PROTECTION AREA.
7. THE PROJECT IS NOT WITHIN A ZONE A SURFACE WATER PROTECTION AREA.

WETLAND NOTES:

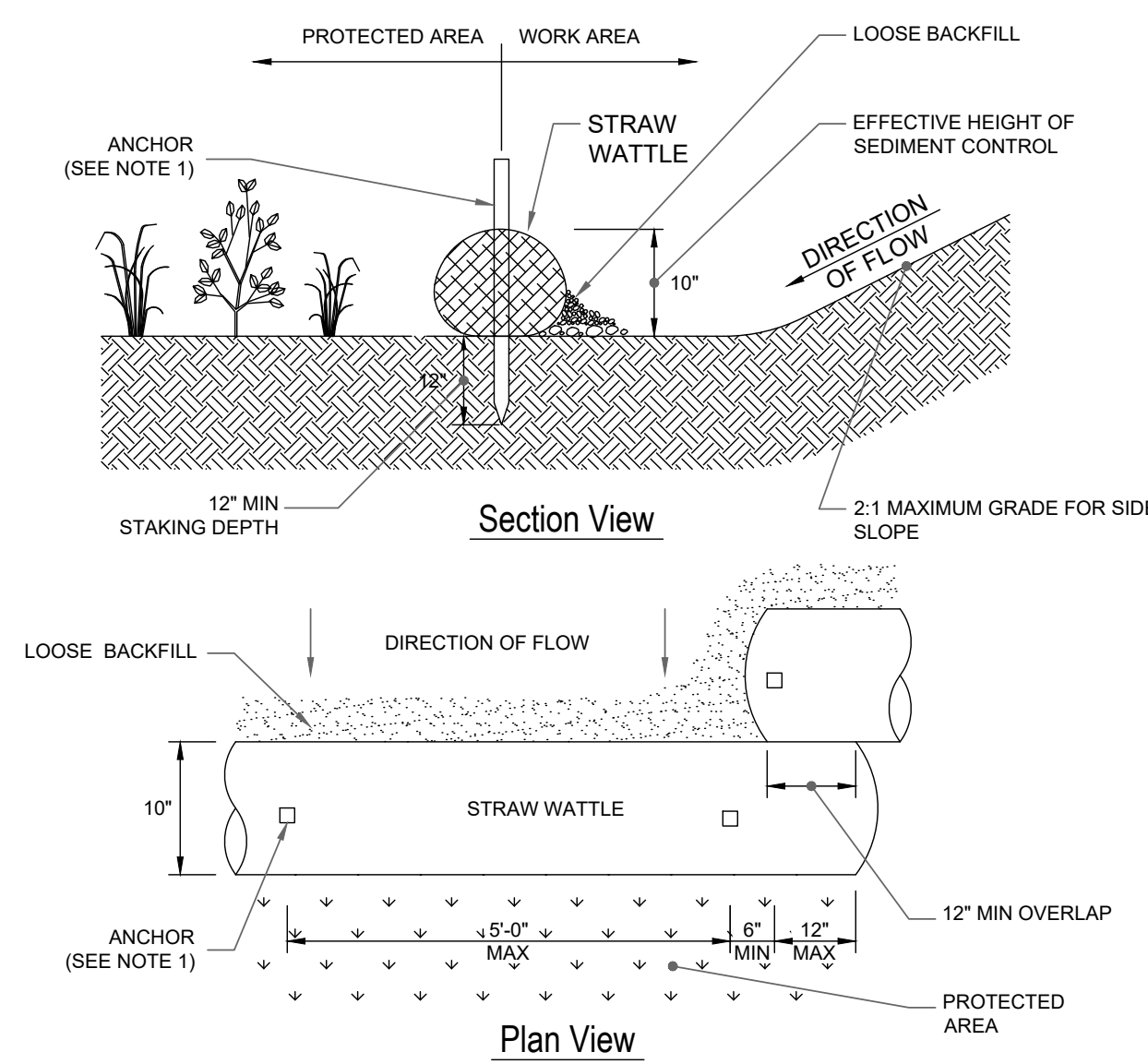
1. ANY DISTURBED UPLAND AREAS SHALL BE SEEDED WITH CONSERVATION/WILDLIFE SEED MIX.
2. PROPOSED DEAN END GRAVEL ROAD SHALL BE LOCATED OUTSIDE THE 25' WETLAND BUFFER ZONE.
3. EROSION CONTROL BARRIER SHALL REMAIN FOR THE DURATION OF CONSTRUCTION ACTIVITIES.

STORMWATER NOTES:

1. PROPOSED INFILTRATION SYSTEM HAS BEEN DESIGNED TO CAPTURE RUNOFF FROM PROPOSED GRAVEL ROAD EXTENSION AND PROPOSED PAVED DRIVEWAY

HYDROLOGIC CALCULATIONS	
IMPERVIOUS AREA TO BE INFILTRATED.	
TOTAL ROOF AREA = 1,680± SF	
1) UNDERGROUND STORMWATER INFILTRATION SYSTEM HAS BEEN DESIGNED TO FULLY INFILTRATE THE 2 YEAR STORM EVENT (3.20" OF RAINFALL) OF THE ROOF.	
2) SOILS INFILTRATION RATE OF 2.41 IN/HR IS BASED ON RAWLS RATE FOR LOAMY SANDY SOILS.	

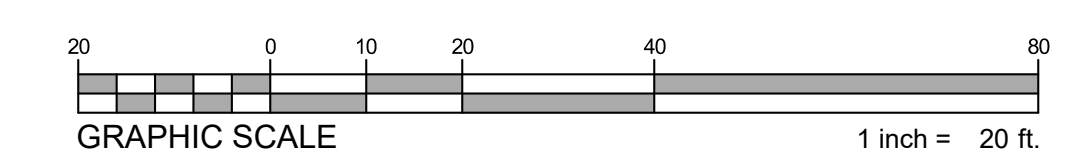
DRAINAGE SCHEDULE	
INFILTRATION/DETENTION SYSTEM #P2	
3 - 150HD CULTEC RECHARGER	
BOTTOM OF STONE:	61.00
BOTTOM OF CHAMBER:	61.50
TOP OF CHAMBER:	63.00
TOP OF STONE:	63.50
INVERT(6"):	62.00



CONSTRUCTION NOTES

1. ANCHOR TO BE A 2" X 2" X 36" HARD WOOD STAKE, OR APPROVED EQUAL.
2. EROSION CONTROL SHALL BE REMOVED ONCE VEGETATION HAS BEEN ESTABLISHED.
3. STRAW WATTLE SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN DAYS OR PER LOCAL AND STATE REQUIREMENTS. REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY, AS NEEDED.
4. METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.

STRAW WATTLE EROSION CONTROL BARRIER
N.T.S.



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FAIRHAVEN, MA 02719

Owner/Applicant

AMERICAN LAND SURVEYS
3 SUNSET LANE
FAIRHAVEN, MA 02719

Consultant:

**ISSUED FOR PLANNING
BOARD APPROVAL
(NOT APPROVED FOR CONSTRUCTION)**

Issue Type

**4 EARLE STREET
FAIRHAVEN MA 02719**

Date	Description	By	REV
5.14.26	Per. PB Comments	AK	1

**SUBDIVISION PLAN
FOR 4 EARLE ST**

**PROPOSED GRADING
& UTILITY FOR 4 EARLE ST
LOT 2**

Drawing Title

Project No. 25004	Checked AK	Date 03.31.2026
Designed AK/BB	Approved AK	Scale AS SHOWN

Drawing No.

C-3

Seal

Owner/Applicant

Consultant:

ISSUED FOR PLANNING BOARD APPROVAL
(NOT APPROVED FOR CONSTRUCTION)

Issue Type

4 EARLE STREET
FAIRHAVEN MA 02719

5.14.26	Per. PB Comments	AK	1
Date	Description	By	REV

SUBDIVISION PLAN
FOR 4 EARLE ST

DETAILS

Drawing Title

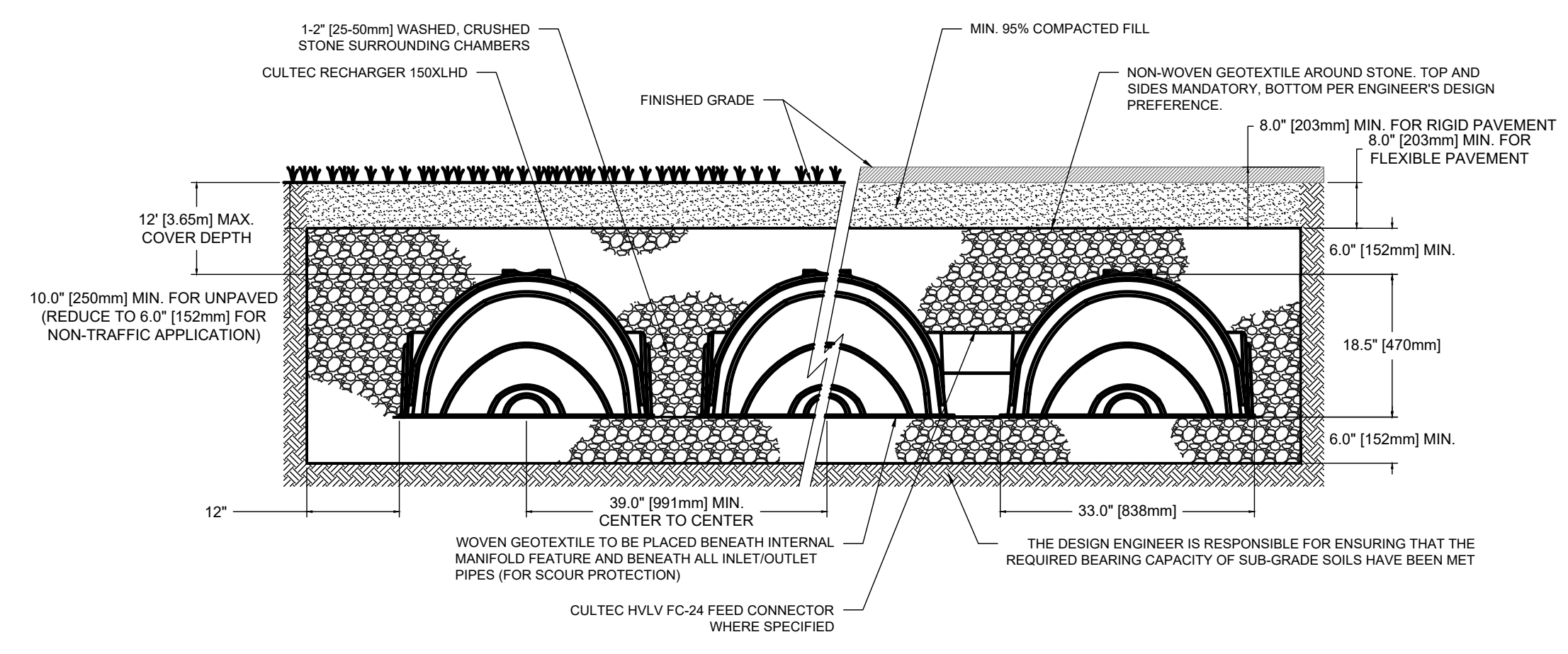
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Designed AK/BB	Approved AK	Scale AS SHOWN

Drawing No.

C-4

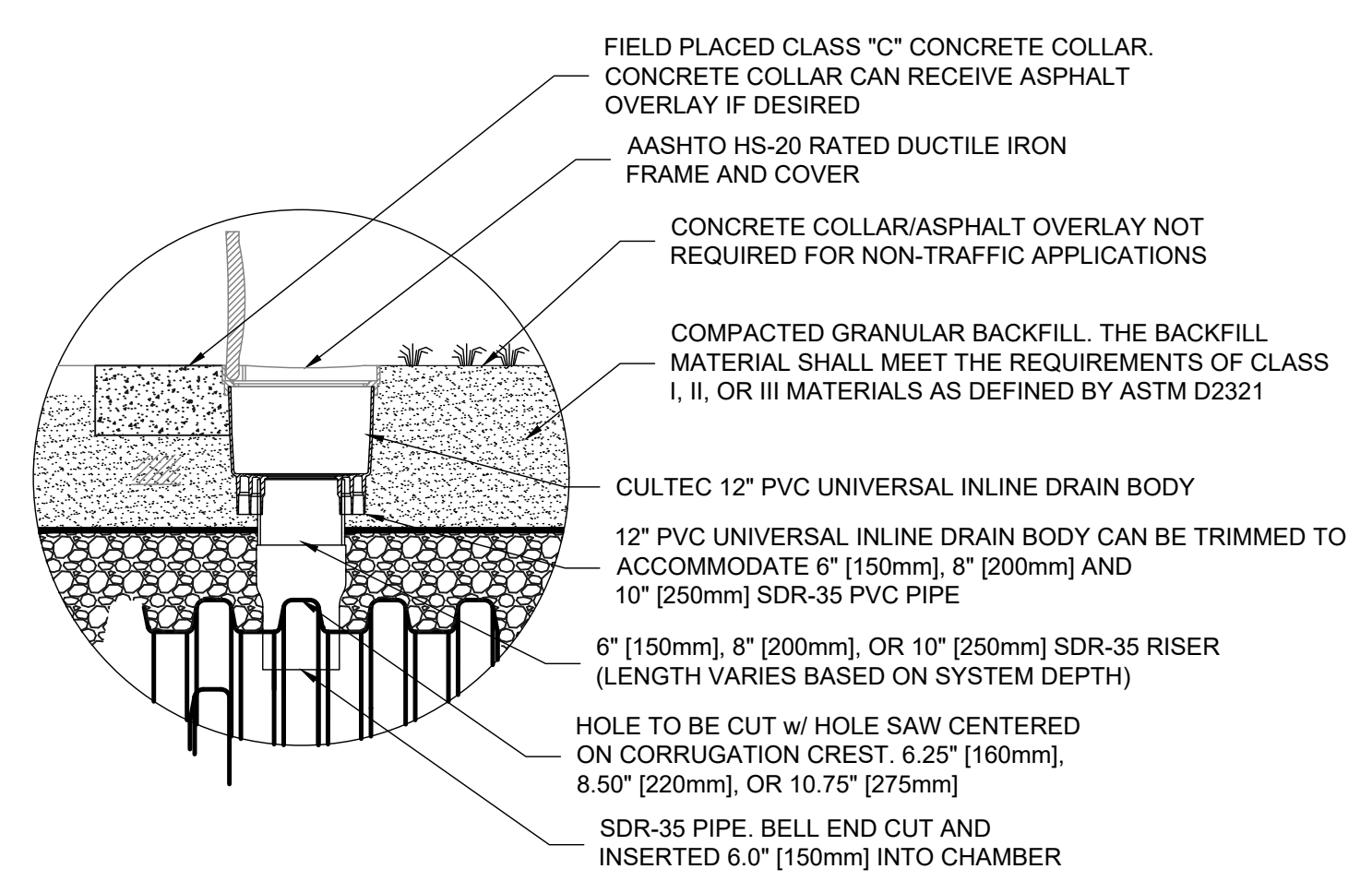


Seal



CULTEC RECHARGER 150 HD CROSS SECTION

NOT TO SCALE



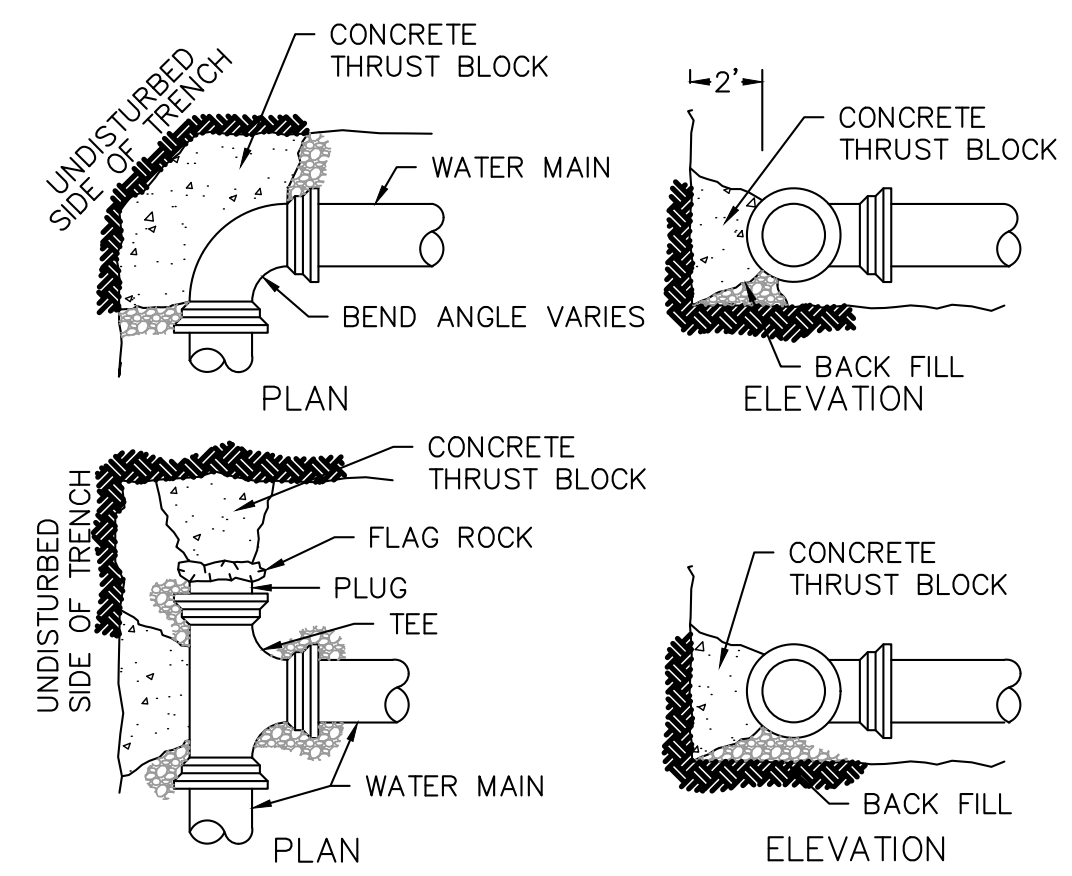
CULTEC RECHARGER 150 HD INSPECTION PORT

NOT TO SCALE

- NOTES:
- ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
 - ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
 - SIZE OF CONCRETE THRUST BLOCKS SHALL BE AS NOTED BELOW.
 - MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.
 - KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.
 - THE BELOW PREDICATED ON A WATER PRESSURE OF 225 PSI AND A SOIL RESISTANCE OF 2000 PSF (TILL). FOR OTHER SOILS THE VALUES IN THE ABOVE TABLE SHALL BE MULTIPLIED BY:

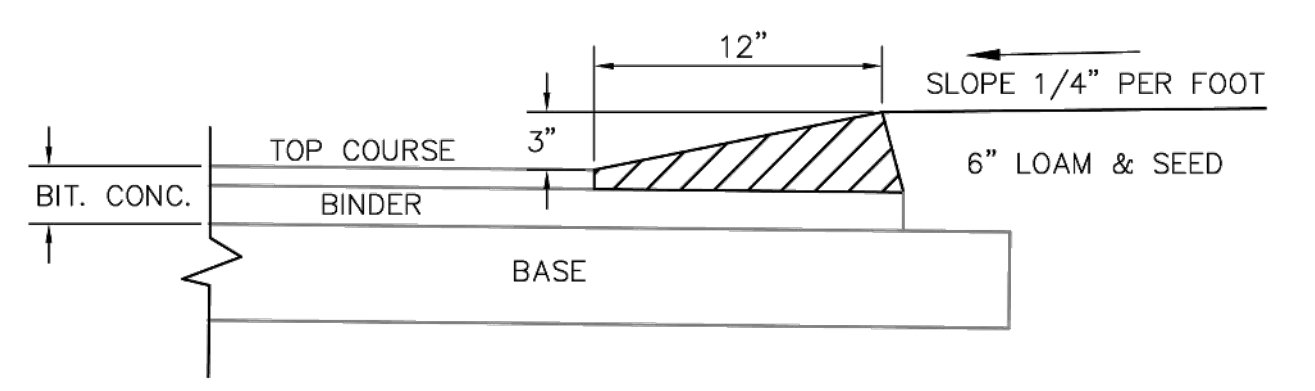
SOFT CLAY	4
SAND	2
SAND & GRAVEL	1.33
SHALE	0.4

PIPE DIAMETER	MINIMUM THRUST BLOCK BEARING AREAS				TEES, PLUGS, CAPS & HYDRANTS (SQ.FT.)
	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22.5° BEND (SQ. FT.)		
6"	5	3	3		4
8"	9	6	3		9
10"	13	7	4		12
12"	20	10	5		16



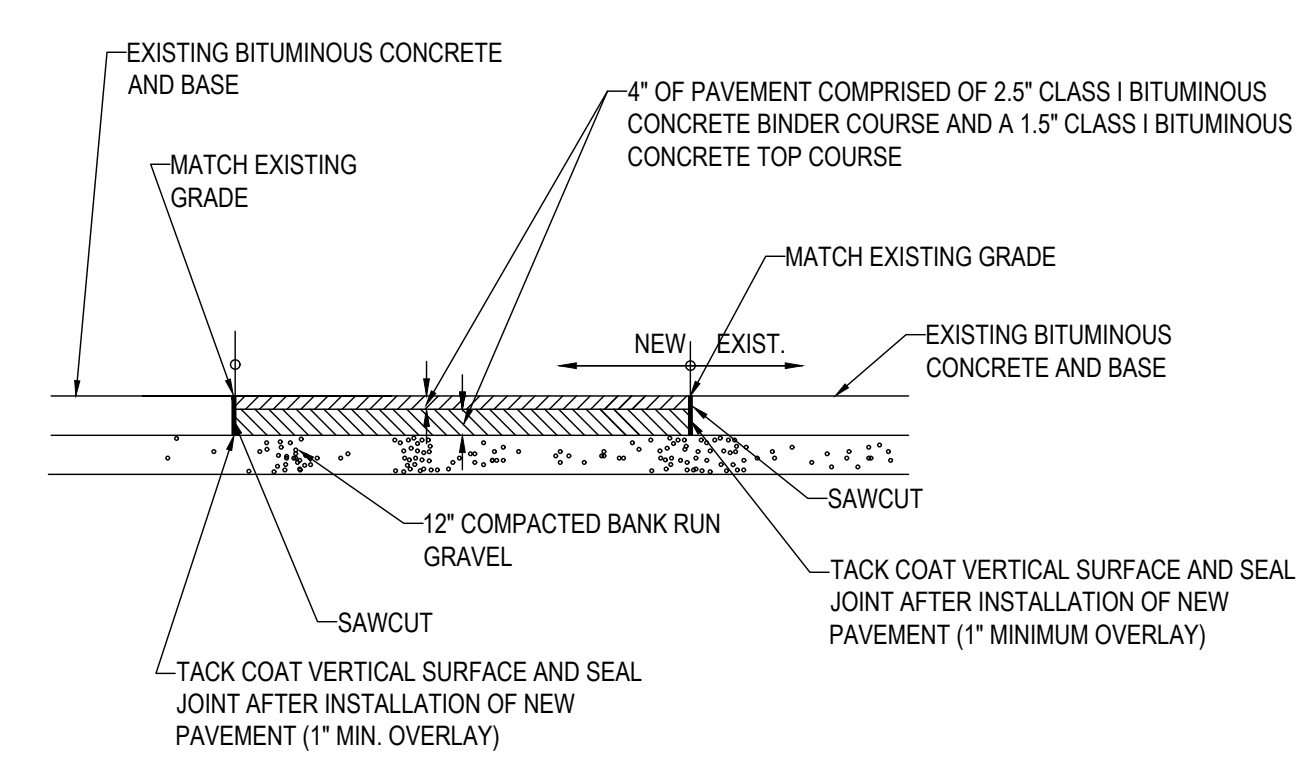
TYPICAL THRUST BLOCK DETAIL

NOT TO SCALE



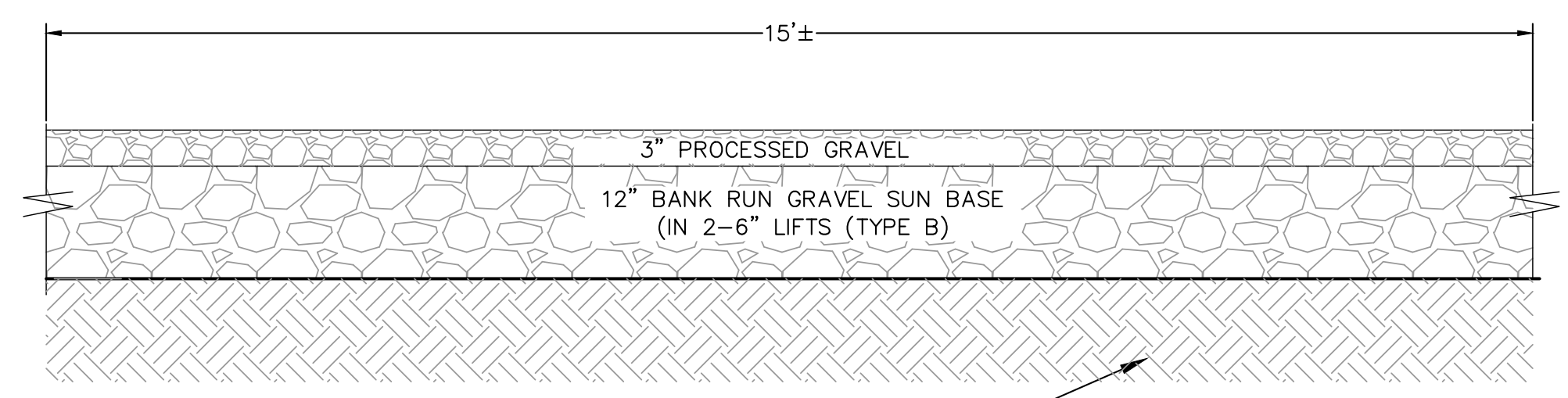
BITUMINOUS CURB DETAIL

NOT TO SCALE



ROADWAY PATCHING DETAIL

NOT TO SCALE

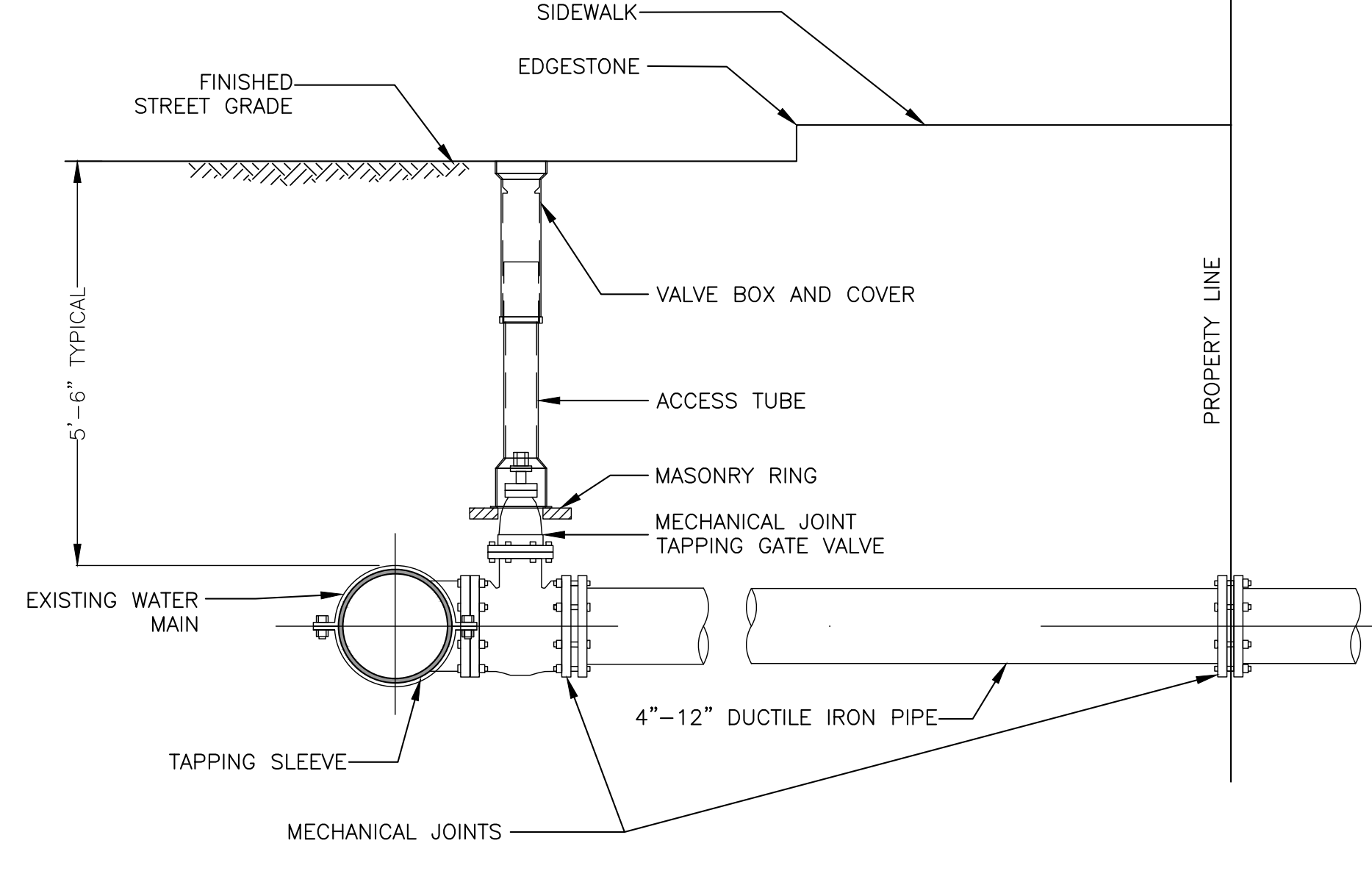


GRAVEL ROAD DETAIL

NOT TO SCALE

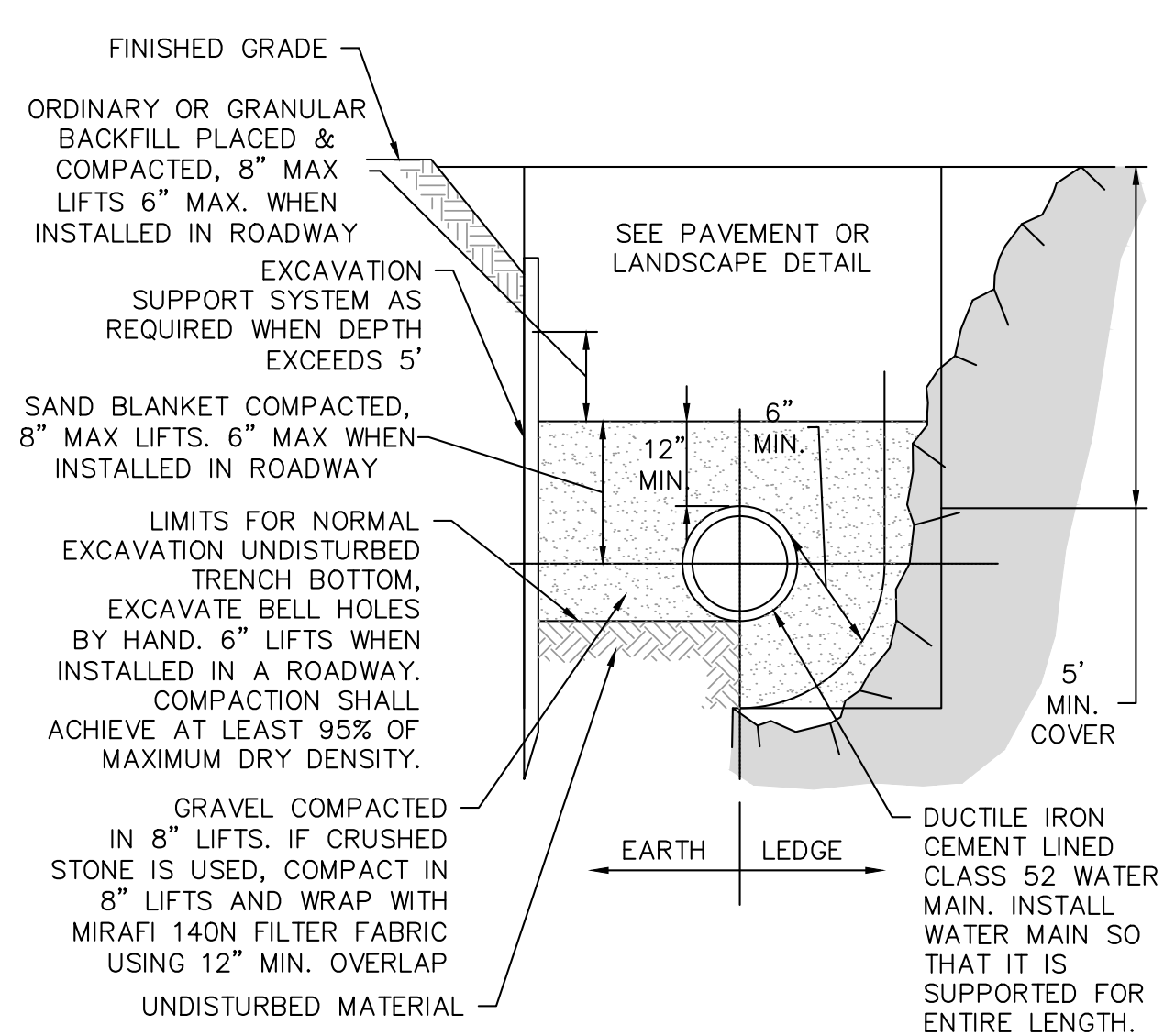
- NOTES:
- REFER TO SHEET C3 FOR GRADING DETAILS.

- NOTES:
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH
 - USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE
 - SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS



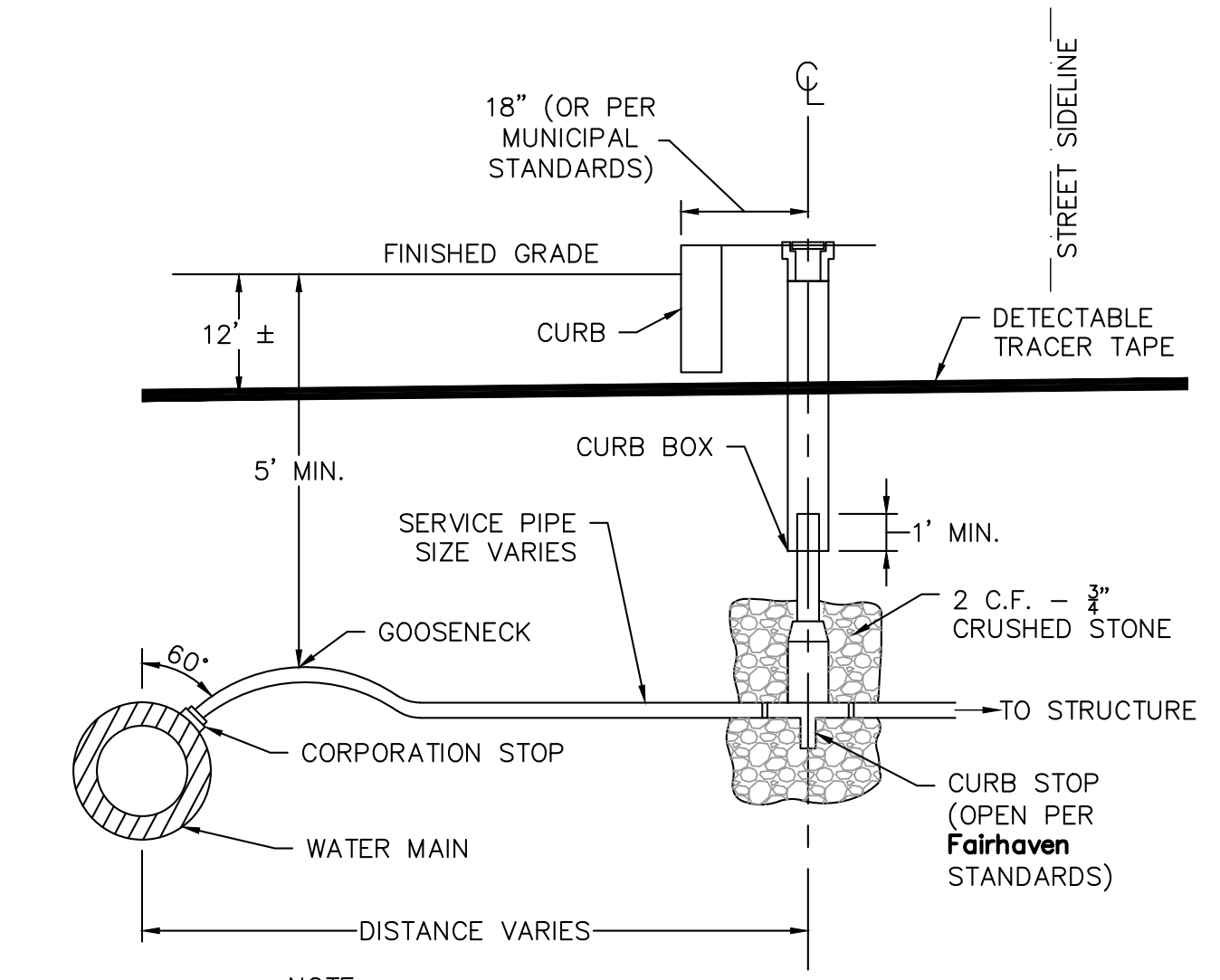
TAPPING SLEEVE & GATE VALVE

NOT TO SCALE



TYPICAL WATER TRENCH DETAIL

NOT TO SCALE



WATER CONNECTION DETAIL

NOT TO SCALE

- NOTE:
- WATER SERVICES LARGER THAN 1" ARE TO BE RESTRAINED TO WATER MAIN W/ APPROVED SADDLE.

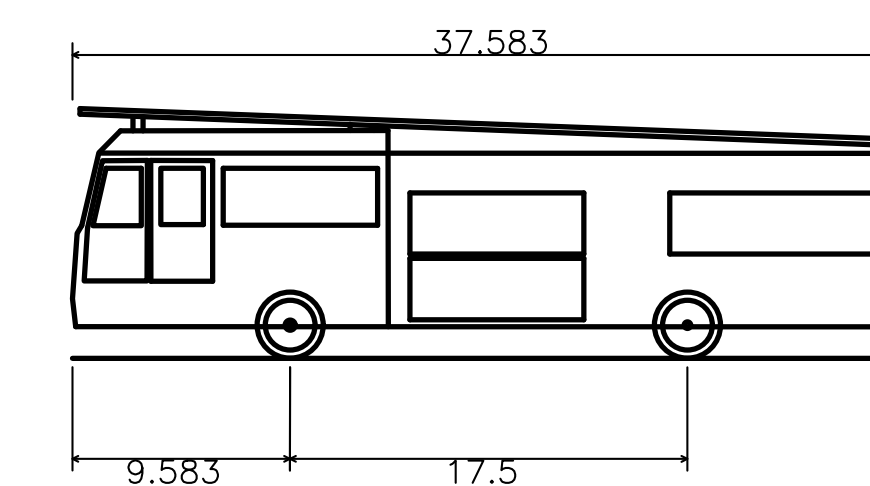
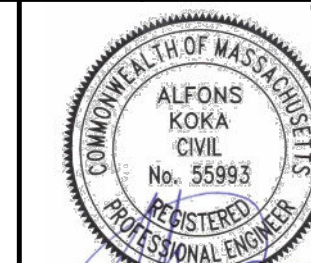
Date	Description	By	REV
5.14.26	Per. PB Comments	AK	1

**SUBDIVISION PLAN
FOR 4 EARLE ST**

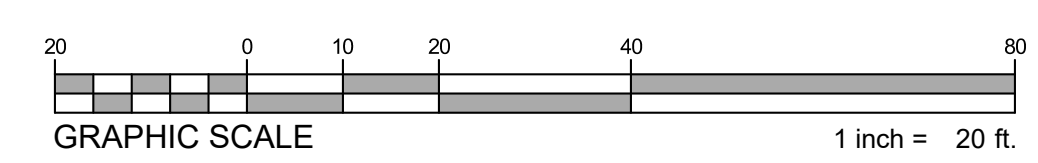
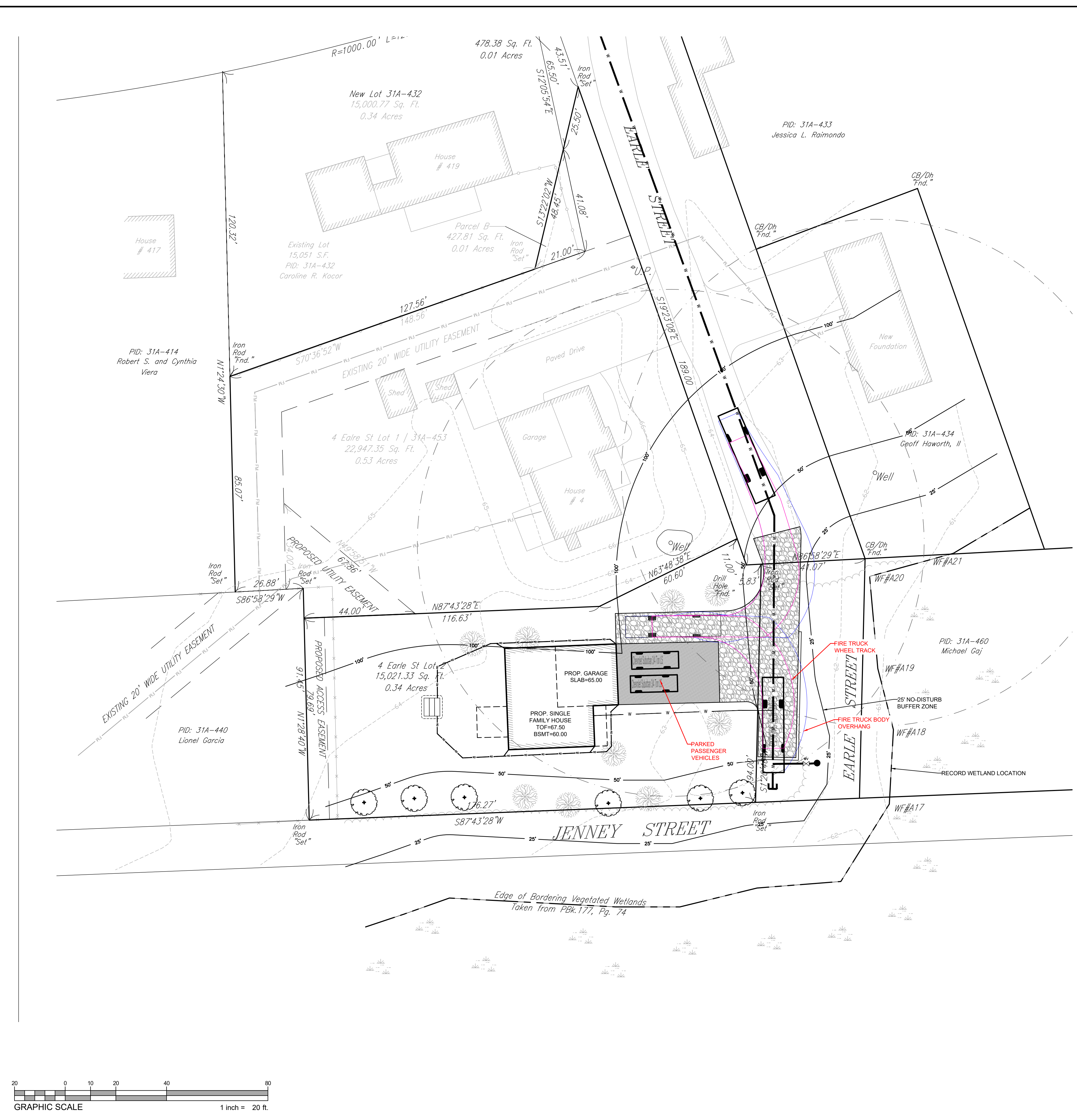
**FIRE APPARATUS
TURNING STUDY**

Project No. 25004	Checked AK	Date 03.31.2026
Designed AK/BB	Approved AK	Scale AS SHOWN

C-5



E-ONE HP75 SideStacker
Overall Length 37.583ft
Overall Width 8.333ft
Overall Body Height 11.000ft
Min Body Ground Clearance 1.393ft
Track Width 8.333ft
Lock-to-lock time 6.00s
Max Wheel Angle 45.00°

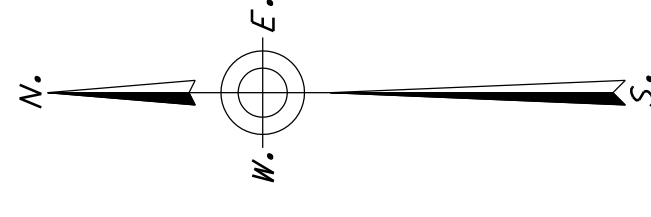
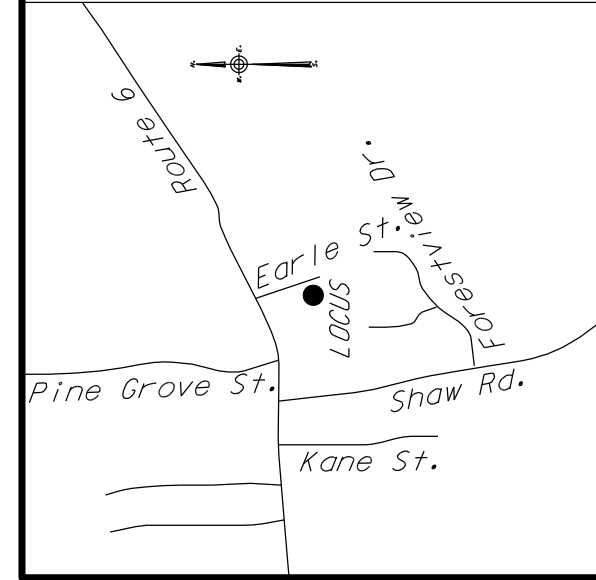


Approval Under Subdivision
Control Law Not Required.

Date: _____

Fairhaven Planning Board

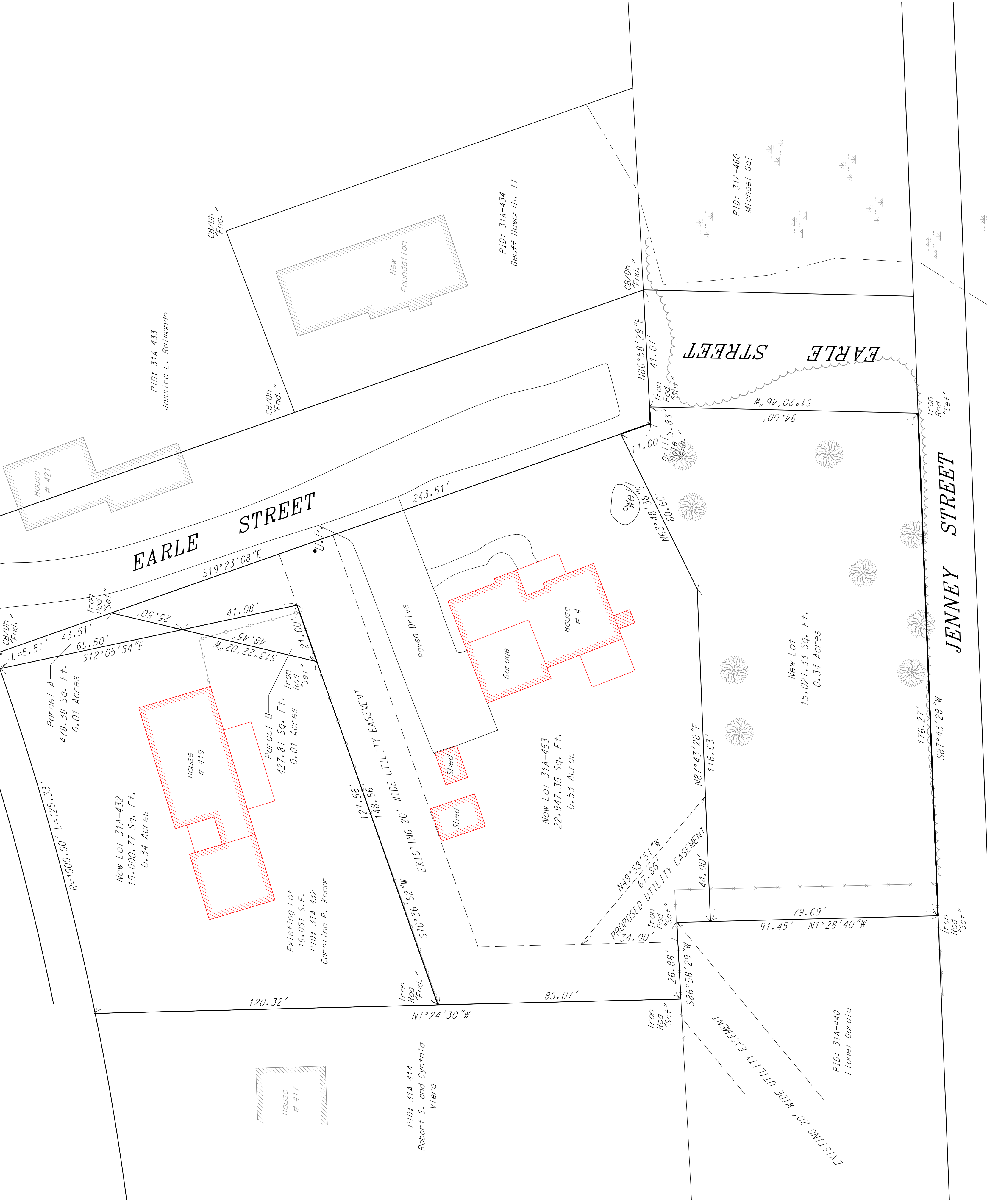
Locus Map 1=1000'



- NOTES:
- PROPERTY OWNERS: JOEL & TASHA R. CORDERO
4 EARLE STREET
FAIRHAVEN, MA 02719
PID: 314-453
DEED BK. 12926, PG. 80
 - LAND SURVEYOR: RUSSELL A. FIRTH, P.L.S.
AMERICAN LAND SURVEYS
3 SUNSET LANE
FAIRHAVEN, MA 02719
 - LOCUS IS SHOWN AS LOTS 432, 453,
PLAT 31A OF THE TOWN OF FAIRHAVEN
ASSESSOR'S MAPS.
 - PLAN REFERENCE: PLAN BOOK 177, PAGE 74.
 - LOCUS IS ZONED: RESIDENCE A, "RA".
 - THE PURPOSE OF THIS PLAN IS TO COMBINE
PARCEL A WITH LOT 31A-432, AND COMBINE
PARCEL B WITH LOT 31A-453 AND TO DIVIDE
LOT 31A-453 CREATING TWO NEW LOTS.

- LOCUS IS SHOWN AS LOTS 432, 453,
PLAT 31A OF THE TOWN OF FAIRHAVEN
ASSESSOR'S MAPS.
- PLAN REFERENCE: PLAN BOOK 177, PAGE 74.
- LOCUS IS ZONED: RESIDENCE A, "RA".
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PARCEL A WITH LOT 31A-432, AND COMBINE
PARCEL B WITH LOT 31A-453 AND TO DIVIDE
LOT 31A-453 CREATING TWO NEW LOTS.

HUTTLESTON AVENUE
(Route 6 - Public 60' WIDEN)



"PRELIMINARY DRAFT"
APPROVAL NOT REQUIRED PLAN
DRAWN FOR:

JOEL CORDERO
IN
FAIRHAVEN, MASSACHUSETTS

SCALE: 20 feet to an inch
March 21, 2025
American Land Surveys
3 Sunset Lane
Fairhaven, Massachusetts

I certify that this plan has been prepared
in conformity with the rules and regulations
of the Registers of Deeds of the Commonwealth
of Massachusetts.

Date: _____
Professional Land Surveyor

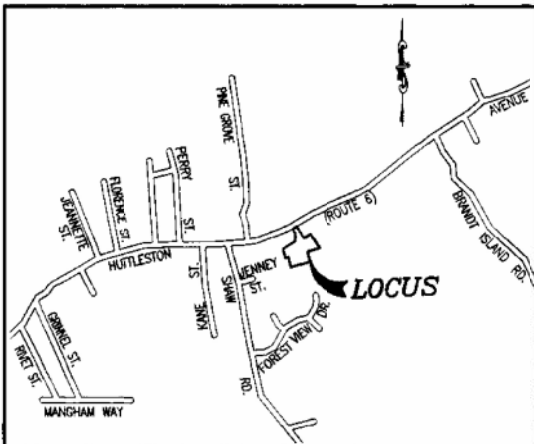
Zone: Rural Residential District (RA)

Setbacks:
Front 20'
Side 10'
Rear 30'

Building Height=35'
Lot Area=15,000 S.F.
Frontage=100'
Contiguous Upland=3,500 S.F.
Percent Min. Lot Area=90% Coverage

Lot=50%, Proposed=27%
Building=30%, Proposed=14%
Accessory Structure Requirements:
Building Setback 5'
Building Area= 700 S.F.
Building Height= 20'

Graphic Scale
FOR REGISTRY USE ONLY



LOCUS MAP

SCALE: 1"=800'±

NOTE:

1. THE INTENT OF THIS PLAN IS TO MODIFY THE RIGHT OF WAY FOR EARLE STREET AND TO CREATE PHYSICAL ACCESS TO A NEW LOT (LOT 1).

LOCUS: ASSESSORS MAP 31A, LOTS 434, 453

ZONING DISTRICT: SINGLE RESIDENCE - RA

FLOOD ZONE: PROPERTY IS NOT LOCATED IN A FEMA DESIGNATED FLOOD HAZARD ZONE

RECORD OWNER: MARY VANDER POL
49 ELEANORS WAY
BRENTWOOD, NH 03833

APPLICANT: Vcorp, LLC
968 KEMPTON STREET
NEW BEDFORD, MA 02740

DEED REFERENCE: BOOK 10643 - PAGE 255

LOT DEVELOPMENT REQUIREMENTS

- MINIMUM LOT AREA - 15,000 SF
- MINIMUM FRONTAGE - 100 FEET
- CONTIGUOUS UPLAND - 13,500 SF
- SETBACKS:
 - FRONT - 20 FEET
 - SIDE - 10 FEET
 - REAR - 30 FEET
- MAXIMUM LOT COVERAGE - 50%
- MAXIMUM BUILDING COVERAGE - 30%

CB CONCRETE BOUND TO BE SET

WAIVER LIST

322-16A GENERAL PROVISIONS

- A.7 WAIVER TO ALLOW CENTER LINE OF ROADWAY TO BE OFFSET FROM THE CENTER LINE OF THE STREET RIGHT-OF-WAY.
- A.8 WAIVER TO ALLOW A CURVE IN THE STREET WITHIN 100 FEET OF THE INTERSECTION.
- A.10 WAIVER TO ALLOW A 50 FOOT VERTICAL CURVE WITH A 4% GRADE DIFFERENTIAL.
- A.13 WAIVER OF GRADING AND LOCATION OF ELEMENTS FROM THE STANDARD CROSS SECTION.

322-16B STREET DESIGN STANDARDS

WAIVER OF RIGHT-OF-WAY WIDTH, TRAVEL WAY PAVEMENT/CAPE COD BERMS, SIDEWALK REQUIREMENT, MINIMUM REVERSE CURVE TANGENT.

STREET CROSS SECTIONS

WAIVER OF C-9 RESIDENTIAL LANE WITH CURB, C-10 RESIDENTIAL LANE WITH CAPE COD BERM, C-14 HAMMERHEAD DETAIL, C-16 CONCRETE SIDEWALK DETAIL, AND C-21 TRIPLE STONE SEAL ROADWAY DETAIL.

322-27 UTILITIES

- A.3 WAIVER TO NOT REQUIRE MUNICIPAL WATER FOR FUTURE CONNECTIONS TO PROPERTY BOUNDARIES.

322-32 CURBING

WAIVER OF CURBING REQUIREMENTS EXCEPT WITHIN ROUTE 6 LAYOUT.

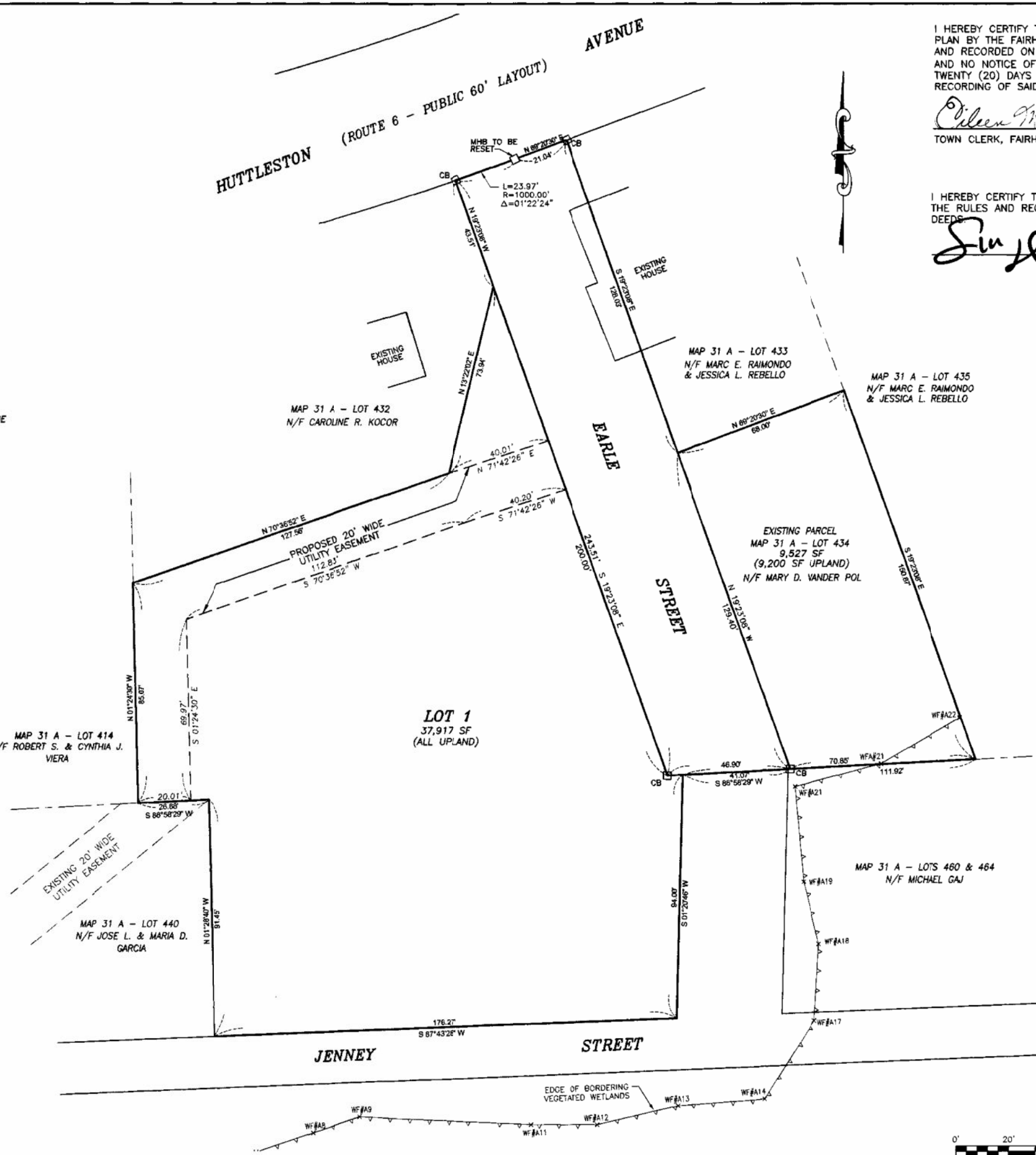
322-33 DRIVEWAY APPROACH AREAS

- A. WAIVER TO ALLOW BITUMINOUS DRIVEWAY APPROACH.

322-37 FIRE ALARM SYSTEM

322-49 ACCEPTANCE PLAN

STREET IS PROPOSED TO REMAIN PRIVATE.



I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE FAIRHAVEN PLANNING BOARD WAS RECEIVED AND RECORDED ON AUGUST 16, 2017 AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

Cileen M. Lowne - APRIL 27, 2018
TOWN CLERK, FAIRHAVEN, MA DATE

I HEREBY CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Sign 3/21/2018
DATE



2018 04/27/2018
Bk: 177 Pg: 74 Pg: 1 of 1 BS
Doc: PLAN 04/27/2018 10:40 AM

Covenant
04-27-18
12423-82

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW

FAIRHAVEN PLANNING BOARD

Wendy Haines
Jack Hill
John Hill
Anthony Harris

DATE: April 27, 2018

THE SUBDIVISION IS SUBJECT TO A COVENANT (FORM D) TO BE RECORDED HERewith: BOOK 10423, PAGE 82

DEFINITIVE SUBDIVISION OF MODIFIED EARLE STREET IN FAIRHAVEN, MASSACHUSETTS

PREPARED FOR
Vcorp, LLC
SCALE: 1"=20' MARCH 6, 2017
REVISED JUNE 6, 2017

PREPARED BY
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Land Use Planning
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