TOWN OF FAIRHAVEN

SENIOR AND RECREATIONAL CENTER ROOF REPLACEMENT

227-229 HUTTLESTON AVE, FAIRHAVEN, MA 02719

8/14/2024

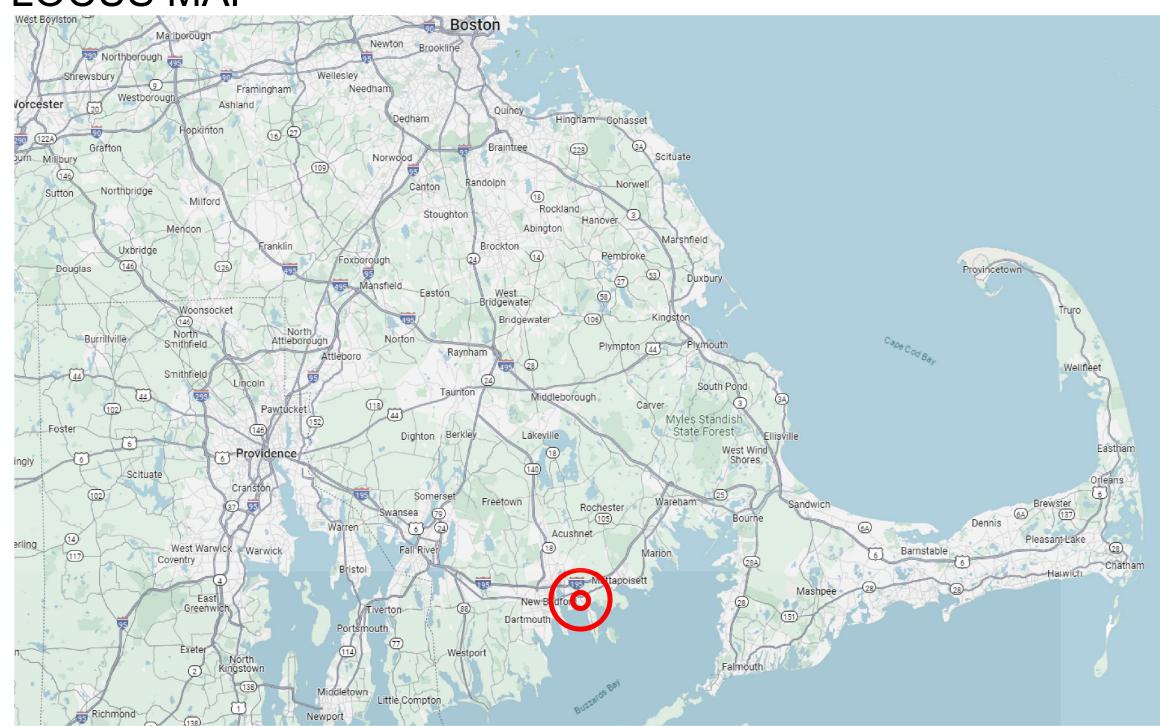
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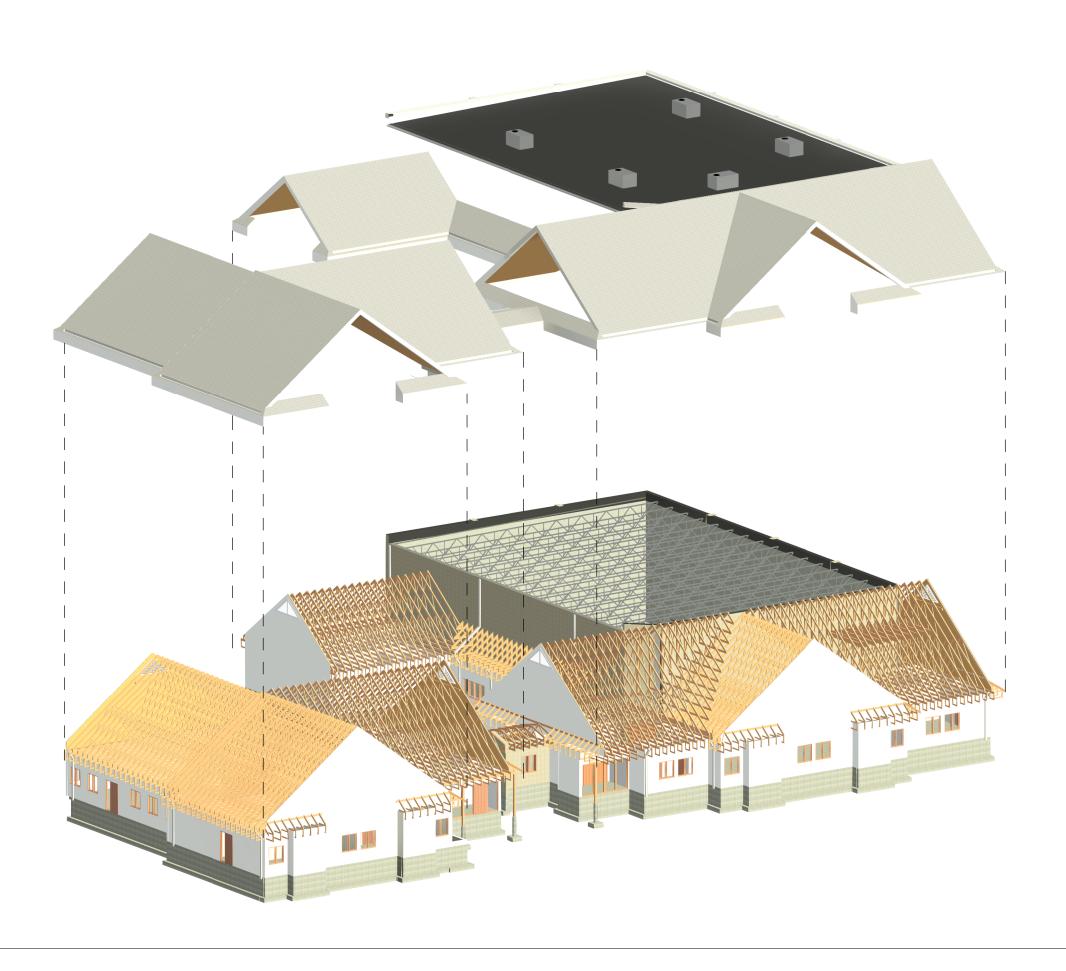


DHK Architects, Inc. 54 Canal Street 2nd Floor Boston, MA 02114 617-267-6408 FAX 617-267-1990 www.dhkinc.com

DRAWING LIST					
Sheet Number Sheet Name					
00_GENERAL					
A-000	COVER SHEET				
A-001	GENERAL ARCHITECTURAL NOTES				
A-002	ARCHITECTURAL LEGEND AND SYMBOLS				
A-003	ARCHITECTURAL ABBREVIATIONS				
A-004	ARCHITECTURAL SITE PLAN				
01_DEMO PLANS					
A-101	DEMO ROOF PLAN				
02_DEMO ELEVATIONS	'				
A-201	DEMO OVERALL ELEVATIONS				
A-202	DEMO BUILDING A ELEVATIONS				
A-203	DEMO BUILDING B ELEVATIONS				
03_DEMO SECTIONS					
A-301	DEMO BUILDING SECTIONS AND DETAILS 1 OF 3	,			
A-302	DEMO BUILDING SECTIONS AND DETAILS 2 OF 3				
A-303	DEMO BUILDING SECTIONS AND DETAILS 3 OF 3				
04_NEW WORK PLANS					
A-401	NEW WORK ROOF PLAN				
05_NEW WORK ELEVATIONS					
A-501	NEW WORK OVERALL ELEVATIONS				
A-502	NEW WORK BUILDING A ELEVATIONS				
A-503	NEW WORK BUILDING B ELEVATIONS				
06_NEW WORK SECTIONS					
A-601	NEW WORK BUILDING SECTIONS AND DETAILS 1 OF 3				
A-602	NEW WORK BUILDING SECTIONS AND DETAILS 2 OF 3				
A-603	NEW WORK BUILDING SECTIONS AND DETAILS 3 OF 3				
07_DETAILS					
A-701	EPDM ROOF DETAILS 1 OF 2				
A-702	EPDM ROOF DETAILS 2 OF 2				
A-703	ASPHALT ROOF DETAILS 1 OF 2				
A-704	ASPHALT ROOF DETAILS 2 OF 2				
A-705	ASPHALT ROOF FLASHING DETAILS				

LOCUS MAP





GENERAL ARCHITECTURAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- 2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL MUNICIPAL, STATE, NATIONAL AND OTHER CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT INCLUDING THE FEDERAL "AMERICANS WITH DISABILITIES ACT" (ADA).
- 3. ALL WORK SHALL BE OF HIGH QUALITY, PERFORMED IN A NEAT WORKMANLIKE MANNER, EXECUTED IN ACCORDANCE WITH THE BEST ACCEPTED TRADE PRACTICES AND AS PER MANUFACTURER'S RECOMMENDATIONS AND WARRANTY REQUIREMENTS.
- 4. ALL INDICATED ELEMENTS ARE "NEW" UNLESS OTHERWISE INDICATED BY SUCH TERMINOLOGY AS "EXISTING", "TEMPORARY", "ABANDONED", "REFURBISHED", ETC.
- 5. ALL MATERIALS AND WORK REQUIRED SHALL BE NEW UNLESS OTHERWISE NOTED.
- ALL FIRE-RATED DOORS AND PENETRATIONS THROUGH FLOOR, WALL AND/OR CEILINGS SHALL COMPLY WITH APPLICABLE CODE REQUIREMENTS OF (TEMPERATURE) T-RATINGS AND UL-LISTED THROUGH PENETRATION FIRE STOP SYSTEM ASSEMBLIES TO THE APPROVAL OF THE AHJ.
- 7. ALL FIRE-RATED PARTITIONS/WALLS SHALL EXTEND TO THE UNDERSIDE OF THE STRUCTURAL FLOOR, BEAM OR ROOF SLAB UNLESS NOTED OTHERWISE; AND SHALL BE FIRE-STOPPED TO SAME HOURLY RATING. ALL PENETRATIONS SHALL BE SEALED AND PROTECTED IN ORDER TO MAINTAIN THE INTEGRITY OF THE FIRE-RATED PARTITIONS/WALLS. SEE SPECIFICATIONS.
- THE WORDS "REMOVE", "REMOVAL", "DISCARD", "DISPOSE OF" SHALL INCLUDE THE COMPLETE REMOVAL AND LEGAL DISPOSAL OF THE INDICATED MATERIAL OR EQUIPMENT OFF THE SITE BY CONTRACTOR, EXCEPT WHERE SUCH MATERIAL OR EQUIPMENT IS INDICATED OR DIRECTED BY OWNER TO BE SALVAGED OR STORED FOR RE-INSTALLATION. ALL REQUIRED STORAGE SHALL BE AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ITEMS TO REMAIN, ALL WORK FROM HAND-OVER OR PRECEDING CONTRACTS, OWNER FURNISHED EQUIPMENT AND FIXTURES; AND REPAIR OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF THE WORK TO THE SATISFACTION AND APPROVAL OF THE OWNER.
- O. ANY DAMAGE TO INSTALLED FINISHES OR EQUIPMENT CAUSED BY THE WORK OF THE CONTRACTOR SHALL BE REPLACED AND REINSTALLED BY THE CONTRACTOR TO THE SATISFACTION AND APPROVAL OF OWNER.
- 11. THE CONTRACTOR SHALL PATCH ALL AREAS AFFECTED OR EXPOSED BY REMOVALS WORK TO MATCH EXISTING AND/OR ADJACENT SURFACES TO THE APPROVAL OF OWNER. PATCHING OF ALL AREAS AFFECTED SHALL ALSO MAINTAIN THE ASSEMBLY AND/OR SYSTEM INTEGRITY AND PERFORMANCE OF THE ORIGINAL CONSTRUCTION.
- 12. ALL MATERIALS AND EQUIPMENT THAT ARE SCHEDULED FOR DEMOLITION SHALL BE REMOVED FROM SITE AND DISPOSED OF PER SPECIFICATIONS. CONFORM TO LOCAL AND STATE REQUIREMENTS FOR REMOVAL AND DISPOSAL OF CONSTRUCTION MATERIAL. CONTRACTOR TO COORDINATE POTENTIAL FOR SALVAGING DEMOLITION MATERIAL WITH DESIGNER AND OWNER.
- 13. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS, INCLUDING INSTALLED WORK AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY DESIGNER WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS.
- 14. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES AS INTENDED BY THE CONTRACT DOCUMENTS AND TO THE SATISFACTION OF THE AUTHORITY AND DESIGNER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK AMONG THE VARIOUS
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS AND JOB CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO SUBMITTING SURVEY FILES, SHOP DRAWINGS AND PLACING ORDERS DURING THE COURSE OF THE CONTRACT.
- 16. DO NOT SCALE DRAWINGS. FOLLOW WRITTEN DIMENSIONS ONLY FOR CONSTRUCTION.
- 17. CONTRACTOR SHALL COORDINATE WITH ALL DRAWINGS FOR THE EXTENT AND LOCATION OF ALL OPENINGS, ARCHITECTURAL FINISHES, SLEEVES, CHASES, WALL AND FLOOR SLAB PENETRATIONS, ETC. ALL PIPES AND CONDUITS PASSING THROUGH MASONRY AND/OR CONCRETE PARTITIONS/STRUCTURES SHALL BE SLEEVED.
- 18. CONTRACTOR SHALL EXAMINE CONTRACT DRAWINGS TO VERIFY AND COORDINATE THE LOCATION OF FIXTURES, EQUIPMENT, DUCTWORK, CONDUITS, PULL-BOXES, PENCIL BOXES, ROUGHOUTS, ROUGH OPENINGS, ACCESS PANELS AND BOXES, BUILT-INS, OWNER-FURNISHED EQUIPMENT CONTRACTOR INSTALLED (OFCI) FIXTURES AND OTHER RELATED WORK FOR THE CONSTRUCTION OF THE PROJECT.
- 19. WHERE THE PROGRESS OF THE WORK INTERFERES WITH A MEANS OF EGRESS FROM AN EXISTING BUILDING OR STRUCTURE, THE CONTRACTOR SHALL PROVIDE A TEMPORARY MEANS OF EGRESS SUBJECT TO THE APPROVAL OF THE AUTHORITIES HAVING JURISDICTION (AHJ) AND (BUILDING) OWNER AT NO COST TO THE
- 20. PRIOR TO INSTALLATION OF ANY ELEMENT OF THE WORK, THE CONTRACTOR SHALL SUBMIT ALL APPROVED SHOP DRAWINGS, COORDINATION SHOP DRAWINGS, TESTING & COMMISSIONING REPORTS, MOCK-UPS, COLORS AND FINISHES TO DESIGNER FOR APPROVAL OF THE ELEMENTS.
- 21. THE CONTRACTOR SHALL SUBMIT COORDINATED DRAWINGS OF TEMPORARY PARTITIONS AND BARRICADES WITH LOCATIONS AND DETAILS FOR THE REVIEW AND APPROVAL BY DESIGNER.
- 22. THE CONTRACTOR SHALL PROVIDE ALL MOCK-UPS REQUIRED IN A TIMELY MANNER AND IN LOCATION(S) AS DIRECTED BY DESIGNER. APPROVED MOCK-UPS CAN BE INCORPORATED INTO THE WORK BY APPROVAL OF
- 23. ALL STEEL ITEMS EXPOSED TO THE ELEMENTS SHALL BE HOT DIPPED GALVANIZED UNLESS NOTED
- 24. ALL EMBEDMENTS AND DRILLED-IN-PLACE ANCHORS SHALL BE TYPE 304 STAINLESS STEEL UNLESS NOTED OTHERWISE.
- 25. PROVIDE ALL BLOCKING, SEPARATION AND ANCHORAGE AS REQUIRED FOR CODE-COMPLIANT WORK.

NOT LIMITED TO SHEATHING, TRIM AND BLOCKING) SHALL BE FIRE-RATED.

- 26. ALL PROPOSED WOOD COMPONENTS THAT BECOME INSTALLED PARTS OF THE WORK (INCLUDING BUT
- 27. ALL DISSIMILAR METALS IN CONTACT WITH EACH OTHER SHALL BE ISOLATED IN A MANNER AS REQUIRED BY
- APPLICABLE CODE AND AS APPROVED BY DESIGNER.
- 28. WHERE DISSIMILAR METALS ARE JOINED, METAL SURFACES SHALL BE ADEQUATELY SEPARATED TO PREVENT GALVANIC ACTION AND CORROSION.
- 29. THE CONTRACTOR SHALL PAINT ALL SURFACES, INCLUDING BUT NOT LIMITED TO: EXPOSED WALLS (WITH NO FINISH ASSEMBLY), EXPOSED CEILINGS (WITH NO SUSPENDED ASSEMBLY), EXPOSED STRUCTURAL COLUMNS, PIPES, CONDUIT, AND MISCELLANEOUS METALS UNLESS NOTED OTHERWISE IN THE FINISH SCHEDULE OR AS INDICATED ON THE CONTRACT DRAWINGS.
- 30. MANUFACTURER'S NAME PLATES INCLUDING TRADEMARK AND OTHER IDENTIFICATION SYMBOLS SHALL NOT BE PERMITTED IN SURFACES VISIBLE TO THE PUBLIC UNLESS NOTED OTHERWISE IN THE CONTRACT DRAWINGS.
- 31. SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS AND RODENTS.
- 2. ALL FLASHING DETAILS INCLUDING THICKNESS AND FASTENERS SHALL COMPLY WITH FM-GLOBAL 1-49.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING OF ALL CONTROL POINTS AND BENCHMARKS FOR THE WORK.
- 36. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS, CONTRACT DOCUMENTS, AND OTHER DOCUMENTS APPROVED BY THE ARCHITECT AND ANY/ALL PERMITTING AUTHORITIES.
- 37. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO ALL STATE AND LOCAL REGULATIONS. POLICE DETAILS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 38. DURING CONSTRUCTION, ANY INTERPRETATION OF THE SPECIFICATIONS AND ANY MATTER WHICH REQUIRES APPROVAL BY THE OWNER MUST BE REVIEWED BY THE ARCHITECT BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED.
- 40. SUBSTITUTIONS OF PRODUCTS IN PLACE OF THOSE SPECIFIED WILL NOT BE ALLOWED WITHOUT WRITTEN
- AUTHORIZATION FROM ARCHITECT.
- PRIOR TO DEMOLITION, THE CONTRACTOR SHALL CAREFULLY REMOVE AND STORE, IN A SECURE LOCATION TO THE SATISFACTION OF THE OWNER, ALL MOVEABLE EXTERIOR TRASH RECEPTACLES, SEATING BENCHES, PICNIC TABLES AND ANY OTHER REMOVABLE FURNITURE OR EQUIPMENT NEAR THE PERIMETER OF THE BUILDING UNTIL THE COMPLETION OF THE NEW ROOF CONSTRUCTION. THE CONTRACTOR SHALL MOVE ALL FURNITURE BACK TO THEIR ORIGINAL LOCATIONS AFTER COMPLETION OF NEW ROOF CONSTRUCTION TO THE SATISFACTION OF THE OWNER.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR STAGING, PARKING, AND OFFICE LOCATIONS.

- 43. THE CONTRACTOR SHALL MAINTAIN A SECURE SITE TO THE SATISFACTION OF THE OWNER.
- 44. GC TO REMOVE ALL ROOFTOP EQUIPMENT TO ENABLE THE ROOF REPLACEMENT WORK.
- 45. GC TO COORDINATE PHASING, SEQUENCING, AND SITE LOGISTICS WITH THE OWNER PRIOR TO COMMENCING
- 46. FALL PROTECTION SYSTEMS SHALL BE USED AS REQUIRED BY FEDERAL, STATE, AND LOCAL REGULATIONS REGARDING ROOFING WORK.
- 47. AT THE END OF EACH WORK PERIOD THE EXISTING NEW ROOF SYSTEM SHALL BE COMPLETELY SEALED FROM MOISTURE INTRUSION AND ABLE TO WITHSTAND A LOAD OF WATER/ EXISTING GUTTERS AND DOWNSPOUTS MUST REMAIN IN WORKING ORDER. OR ALTERNATE METHOD OF DRAINAGE PROVIDED.
- 48. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLAN HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
- 49. THE CONTRACTOR SHALL REPORT DETERIORATED OR UNSUITABLE STRUCTURAL DECK OR SUBSTRATES TO THE OWNER PRIOR TO PERFORMING ROOFING INSTALLATION WORK.
- 50. ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS. REMOVE ONLY AS MUCH ROOFING
- AS CAN BE REPLACED ON THE SAME DAY. PHASED CONSTRUCTION IS NOT PERMITTED.

 51. FOR THE SAKE OF CLARITY NOT ALL FASTENERS ARE SHOWN IN DETAILS, REFER TO SPECIFICATIONS FOR
- FASTENER TYPES AND SPACING.
- 52. DETAILS NOT DEPICTED SHALL BE CONSTRUCTED IN A MANOR CONSISTENT WITH THE DETAIL DRAWINGS.
- 53. ROOF PLAN DIMENSIONS, CONFIGURATIONS, QUANTITIES, ETC. MAY NOT BE EXACT. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS, DIMENSIONS, AND QUANTITIES PRIOR TO SUBMITTING BID AND COMPENSATE FOR ANY DISCREPANCIES ON THE DRAWINGS.
- THE MANUFACTURERS STANDARD DETAILS AND SPECIFICATIONS, WHEN APPROVED BY THE OWNER, SHALL BECOME THE BASIS FOR ACCEPTING OR REJECTING THE ACTUAL INSTALLATION OF THE ROOF SYSTEM. UPON COMPLETION OF THE WORK THE MANUFACTURER SHALL EXAMINE THE COMPLETED INSTALLATION FOR COMPLIANCE WITH ALL WARENTY REQUIREMENTS.
- 55. SELF ADHERING SHEET UNDERLAYMENT: INSTALL WRINKLE FREE ON ROOF DECK. COMPLY WITH LOW TEMPERATURE INSTALLATION RESTRICTIONS OF UNDERLAYMENT MANUFACTURER IF APPLICABLE. INSTALL AT LOCATIONS INDICATED ON PLANS ACCORDING TO ANY AND ALL NOTES PERTAINING TO ICE AND WATER SHEETS, LAPED IN DIRECTION TO SHED WATER. LAP SIDES NOT LESS THAN 3.5". LAP ENDS NOT LESS THAN 6" STAGGERED 24" BETWEEN COURSES. ROLL LAPS WITH ROLLER. COVER UNDERLAYMENT WITHIN SEVEN DAYS.
- 56. ICE AND WATER SHEETS TO BE LAYED:
 - A. EAVES: EXTEND FROM EDGE OF EAVES 36" BEYOND INTERIOR FACE OF EXTERIOR WALL.
 - RAKES: EXTEND FROM EDGES OF RAKE 36" BEYOND INTERIOR FACE OF EXTERIOR WALL.

 VALLEYS: EXTEND FROM LOWEST TO HIGHEST POINT 18" ON EACH SIDE.
 - C. VALLEYS: EXTEND FROM LOWEST TO D. HIPS: EXTEND 18" ON EACH SIDE.
 - E. RIDGES: EXTEND 36" ON EACH SIDE WITHOUT OBSTRUCTING CONTINUOUS RIDGE VENT SLOT.
 F. SIDEWALLS: EXTEND BEYOND SIDEWALL 18" AND RETURN VERTICALLY AGAINST SIDEWALL NOT LESS
 - THAN 4"

 G. DORMERS, CHIMNEYS, SKYLIGHTS, AND OTHER ROOF-PENETRATING ELEMENTS: EXTEND BEYOND
 - PENETRATING ELEMENT 18" AND RETURN VERTICALLY AGAINST PENETRATING ELEMENT NOT LESS THAN
 - H. ROOF SLOPE TRANSITIONS: EXTEND 18" ON EACH ROOF SLOPE

GENERAL DEMOLITION NOTES

- . CONTRACTOR SHALL ONLY REMOVE SO MUCH OF THE EXISTING ROOF THAT CAN BE RE-ROOFED IN ONE DAY. ALL BUILDING SYSTEMS, SUCH AS (BUT NOT LIMITED TO) HOT WATER AND VENTILATION SYSTEMS SHALL BE UP AND RUNNING BY THE END OF BUSINESS EACH DAY.
- 2. CONTRACTOR SHALL PROVIDE OVERHEAD PEDESTRIAN PROTECTION AT ALL PUBLIC AND EMPLOYEE ENTRANCES ALONG WITH THE PATH OF TRAVEL FROM THE BUILDINGS DOORS TO THE EXTERIOR CIRCULATION OF NO LESS THAN 32'-0" UNLESS THE VEHICLE TRAVEL LANES ARE LESS THAN 32'-0" FOR THE DURATION OF DEMOLITION AND CONSTRUCTION
- 3. THE EXISTING ROOF ASSEMBLY SHALL BE REMOVED TO EXPOSE THE EXISTING PLYWOOD OR METAL DECKING. CLEAN ALL MATERIAL FROM DECKING.
- 4. DISPOSAL OF ALL DEMOLISHED MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND TOWN REQUIREMENTS.
- 5. REMOVE EDGE FLASHING IN SCOPE AREA.
- 6. REMOVE WOOD BLOCKING AT CANTS IN SCOPE AREA.
- 7. REMOVE FLASHING AT ROOF PENETRATIONS INCLUDING (BUT NOT LIMITED TO) VENT STACKS, HOT STACKS, PIPING, CONDUIT, AND PITCH POCKETS IN SCOPE AREA.
- DISCONNECT, REMOVE, AND STORE ALL EXISTING ROOFTOP EQUIPMENT AND ASSOCIATED MECHANICAL/ELECTRICAL EQUIPMENT UNLESS OTHERWISE STATED.
- 9. INVENTORY AND RECORD THE CONDITION OF ITEMS TO BE REMOVED AND SALVAGES.
- 10. PROTECT ADJACENT WALKWAYS, LOADING DOCKS, BUILDING ENTRIES, AND OTHER BUILDING FACILITIES DURING DEMOLITION OPERATIONS. MAINTAIN EXITS FROM EXISTING BUILDINGS
- 11. MAINTAIN UTILITY SERVICES TO EXISTING BUILDINGS AND PROTECT FROM DAMAGE DURING DEMOLITION
- DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT FACILITIES/BUILDINGS UNLESS AUTHORIZED IN
- 13. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES , AS ACCEPTABLE TO THE
- OWNER.
- 14. PROVIDE AT LEAST 72 HOURS NOTICE TO OCCUPANTS OF THE BUILDING IF SHUTDOWN OF SERVICE IS REQUIRES DURING CHANGEOVER.
- 15. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION AND AS INDICATED.
- 16. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
- 17. PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
- 18. PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND BUILDING DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF ADJACENT BUILDINGS AND STRUCTURES.
- 19. PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN
- 20. REMOVE TEMPORARY BARRIERS AND PROTECTIONS WHERE HAZARDS NO LONGER EXIST. WHERE HAZARDOUS CONDITIONS REMAIN, LEAVE TEMPORARY BARRIERS AND PROTECTION IN PLACE.
- 21. LOCATE BUILDING DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- 22. REMOVE DEBRIS FROM ELEVATED PORTIONS OF THE BUILDING BY CHUTE, HOIST, OR OTHER DEVICES THAT WILL CONVEY DEBRIS TO GRADE IN A CONTROLLED DESCENT
- 23. PROMPTLY REPAIR DAMAGE TO ADJACENT BUILDINGS, UTILITIES, FENCES, OR OTHER STRUCTURES CAUSED BY DEMOLITION OPERATIONS.
- 24. REMOVE DEMOLITION WASTE MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA APPROVED LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- 25. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE

AND THAT ARE EXPOSED TO BUILDING DEMOLITION OPERATIONS.

- 26. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- 27. DO NOT BURN DEMOLISHED MATERIALS.
- 3. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION
- 29. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE BUILDING DEMOLITION OPERATIONS BEGAN.
- 30. REMOVE AND STORE EXISTING LIGHTNING PROTECTION SYSTEM FOR REINSTALLATION.
- 31. REMOVE, STORE, AND PROTECT ALL EXISTING INTERNET CABLE, ANTENNA CABLE, OTHER SERVICE CABLE AND DEVICES FOR RELISE
- 32. CONTRACTOR TO COORDINATE WITH APPROPRIATE VENDORS FOR ALL REMOVALS & REATTACHMENTS.



TOWN OF FAIRHAVEN

617-267-6408

FAX 617-267-1990

ISSUE DATE DESCRIPTION

SENIOR AND

RECREATIONAL CENTER

ROOF REPLACEMENT

227-229 HUTTLESTON AVE.

FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

GENERAL ARCHITECTURAL NOTES

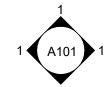
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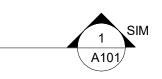
SYMBOLS LEGEND



NORTH ARROW



ELEVATION SYMBOL



SECTION MARKER



COLUMN GRID LINE



DETAIL MARKER

CENTER LINE

TOILET ACCESSORY TAG

101

DOOR TAG

Room name 101

ROOM IDENTIFICATION



WALL TAG

WINDOW TAG



HANDICAP



EXIT SIGN (ARROW REPRESENT DIRECTIONAL SIGN)



SIGN NUMBER

 (\mathbf{x})

DEMOLITION NOTE

 $\langle x \rangle$

NEW WORK NOTE

S

SMOKE DETECTOR

REVISION TAG

FIRE EXTINGUISHER

DATUM LEVEL

A101

WINDOW SECTION CUT

MATERIALS LEGEND

BATT INSULATION

ALUMINUM

BRICK



PARTICLE BOARD

PLYWOOD

CERAMIC TILE

RIGID INSULATION

SAND, CEMENT, GROUT

SPRAYED FIREPROOFING

COMPRESSIBLE FILLER

SHINGLE

CONCRETE

GRAVEL

SMOKE SEALANT

EARTH GRATE

CODE REVIEW

GENERAL
THIS SHEET HAS BEEN PREPARED TO SUMMARIZE THE PROJECTS APPROACH FOR COMPLIANCE WITH 780 CMR MASSACHUSETTS STATE BUILDING CODE (9TH EDITION) (MSBC)

PROJECT SUMMARY:
THE SCOPE OF WORK FOR THIS PROJECT INCLUDES THE CONSTRUCTION OF A NEW ROOFING ASSEMBLY ON THE EXISTING ROOF DECK ON THE TOWN OF FAIRHAVEN SENIOR CENTER AND RECREATIONAL CENTER LOCATED AT 227-229 HUTTLESTON AVE, FAIRHAVEN, MA

THERE WILL BE ARCHITECTURAL UPGRADES INCLUDING, BUT NOT LIMITED TO, ARCHITECTURAL ELEMENTS ASSOCIATED WITH THE ROOF ASSEMBLY DOWN TO EXISTING DECK, NEW COVER BOARD FOR ROOF ASSEMBLY, NEW VAPOR BARRIER, ADDITIONAL INSULATION TO MEET ENERGY CODE VALUE OF R-30, CODE COMPLIANT TAPERED INSULATION, AND ASSOCIATED ADHESIVES AND MECHANICAL ATTACHMENTS/FASTENERS.

STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING SERVICES WILL NOT BE PROVIDED.

OCCUPANCY CLASSIFICATION:

FAIRHAVEN COUNCIL ON AGING:

OCCUPANCY TYPE A-3, OCCUPANCY A-3 INCLUDES ASSEMBLY USES INTENDED FOR WORSHIP, RECREATION, OR AMUSEMENT AND OTHER ASSEMBLIES NOT CLASSIFIED ELSEWHERE IN GROUP A OCCUPANCIES. THE BUILDING IS OF TYPE IIB CONSTRUCTION WITH NON COMBUSTIBLE EXTERIOR WALLS AND WOODEN ROOF TRUSSES AND DECK THAT ARE ALLOWED BY IBC SECTION 603.1.1 "COMBUSTIBLE MATERIALS IN TYPES I AND II CONSTRUCTION"

FAIRHAVEN RECREATIONAL DEPARTMENT:

OCCUPANCY TYPE A-3, OCCUPANCY A-3 INCLUDES ASSEMBLY USES INTENDED FOR WORSHIP, RECREATION, OR AMUSEMENT AND OTHER ASSEMBLIES NOT CLASSIFIED ELSEWHERE IN GROUP A OCCUPANCIES. THE BUILDING IS OF TYPE IIB CONSTRUCTION WITH NON COMBUSTIBLE EXTERIOR WALLS AND WOODEN ROOF TRUSSES AND DECK THAT ARE ALLOWED BY IBC SECTION 603.1.1 "COMBUSTIBLE MATERIALS IN TYPES I AND II CONSTRUCTION"

APPLICABLE CODES:

780 CMR - MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION (MSBC), WHICH ADOPTS AND AMENDS THE

2015 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) 2015 INTERNATIONAL EXISTING BUILDING CODE

2015 INTERNATIONAL ENERGY CONSERVATION CODE (ICC) AS AMENDED BY STRETCH CODE 225 CMR 23.00



2ND FLOOR BOSTON, MA 02114 617-267-6408 FAX 617-267-1990

TOWN OF FAIRHAVEN

ISSUE	DATE	DESCRIPTION

SENIOR AND RECREATIONAL CENTER ROOF REPLACEMENT

227-229 HUTTLESTON AVE, FAIRHAVEN, MA 02719

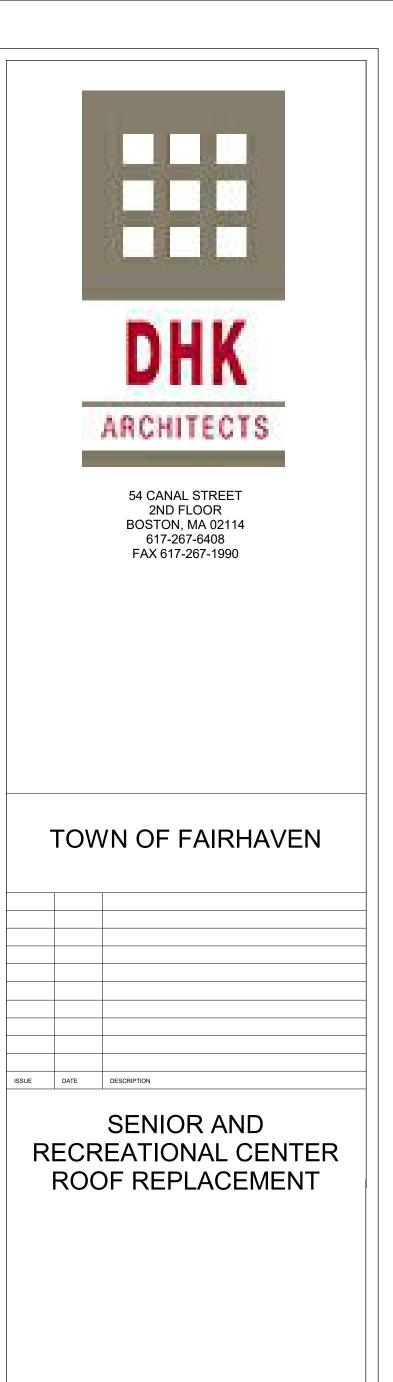
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ARCHITECTURAL LEGEND AND SYMBOLS

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ABBREVIATIONS

&	AND	COMP	COMPRESSIBLE	FC	Fire Cabinet, Foot Candle	HGT	Height	MIN	Minimum	PTD	Painted	SUSP	Suspended
@ A/E	AT ARCHITECT / ENGINEER	CONC CONC FL	CONCRETE CONCRETE FL	FCO FCTY	Floor Clean Out Factory	HGR HH	Hanger Handhole	MIR MISC	Mirror Miscellaneous	PVC PVG	Polyvinyl Chloride Paving	SVCE SVF	Service Sheet Vinyl Flooring
AB	ANCHOR BOLT	CONN	CONNECT, CONNECTION	FCU	Fan Coil Unit	HM	Hollow Metal	MLDG	Molding	PWD	Plywood	SW	Sidewalk
ABAN A/C	ABANDON AIR CONDITIONING	CONSTR CONT	CONSTRUCTION CONTINUE, CONTINUOUS	FD FDTN	Floor Drain Foundation	HMD HNDRL	Hollow Metal Door Handrail	MO MOD	Masonry Opening Model, Modify	PWR	Power	SWDR SYM	Swing Door Symbol
ACS DR	ACCESS DOOR	CONTR	CONTRACT, CONTRACTOR	FE	Fire Extinguisher	НО	Hold Open	MOD BIT	Modifed Bitumen	QA	Quality Assurance	SYMM	Symmetrical
ACS PNL ACST	ACCESS PANEL ACOUSTIC	COORD COP	COORDINATE COPPER	FEC FED	Fire Extinguisher Cabinet Federal	HORIZ HP	Horizontal High Point	MON MPH	Monument Miles Per Hour	QC QT	Quality Control Quarry Tile	SYS S4S	System Surface Four Sides
ACT	ACOUSTICAL CEILING TILE	CORR	COORIDOR	FF	Batt Foil Backed Batt Insulation	HPS	High Pressure Sodium	MR	Moisture Resistant	QTB	Quarry Tile Base	_	
AD ADA	AREA DRAIN AMERICANS WITH DISABILITIES ACT	CPT CSK	CARPET COUNTERSUNK	FF FF&E	Fabric Flashing, Finish Face Furniture, Fixture & Equipment	HQ HR	Headquarters Hour	MRT MS	Marble Threshold Metal Stud	QTR QTY	Quarter Quantity	T TAN	Treads (Stairs) Tangent
ADDL	ADDITIONAL	CT	CERAMIC TILE	F/F	Face to Face	HS	High Strength	MTD	Mounted	QUAD	Quadrant	T&B	Top and Bottom
ADDM ADH	ADDENDUM ADHESIVE	CTB CTD	CERAMIC TILE BASE COATED	FGL FH	Fiberglass Fire Hose	HT HVAC	Height Heat, Ventilation & Air Conditioning	MTL MTR	Metal Mortar	R	Radius or (Stair) Risers	TB TBD	Tobble Bolt To Be Determined
ADJ	ADJUSTABLE	CTG	COATING	FHC	Fire Hose Cabinet	HW	Hot Water	MULL	Mullion	RA	Return air `	TC	Terra Cotta
ADJC AFF	ADJACENT ABOVE FINISHED FLOOR	CTR CTRL	CENTER CONTROL	FHR FHY	Fire Hose Rack Fire Hydrant	HWP Hz	Hot Water Pump Hertz	MVBL	Movable	RAD RC	Radiator Reinforced concrete	TD TDO	Trench Drain Thermoset Decorative Overlay (Melamine)
AGGR	AGGREGATE	CU FT	CUBIC FOOT (FEET)	FIG	Figure			N	North	RCP	Reflected Ceiling Plan	TDH	Total Dynamic Head
AHJ AHU	AUTHORITY HAVING JURISDICTION AIR HANDLING UNIT	CU IN CUR	CUBIC INCH CURRENT	FIL FIN	Fillet Finished	IB ID	Inbound Inside Diameter	NA NAT	Not Applicable Natural	RCPTN RCVR	Reception Receiver	TEMP TEL	Tempered / Temporary Telephone
ALM	ALARM	CU YD	CUBIC YARD	FIN BS	Finish Both Side	ID NO	Identification Number	NEG	Negative	RD	Roof Drain	TERR	Terrazzo
ALT ALUM	ALTERNATE ALUMINUM	CW CYL	CURTAIN WALL, COLD WATER PIPING CYLINDER	FIN FLR FIXT	Finished Floor Fixture	IF INCAND	Inside Face Incandescent	NEUT NIC	Neutral Not In Contract	REC RECPT	Recessed Receptacle	T&G THD	Tongue and Groove Thread
ANN	ANNUNCIATOR	OTE		FLEX	Flexible	IN	Inch or Inches	NO	Number	RECT	Rectangle	THK	Thick
ANOD APPD	ANODIZED APPROVED	Ø D	DIAMETER DEEP, DEPTH	FLMT FLR	Flush Mount Floor	INCL INSTR	Information Instrument	NOM NON STD	Nominal Nonstandard	REF REFL	Reference, Refrigeration Reflect	THRES THRU	Threshold Through
APPROX	APPROXIMATE	DBL	DOUBLE	FLR SK	Floor Sink	INSUL	Insulation	NORM	Normal	REFR	Refrigerator	T.O.	Top Of
AR ARCH	AS REQUIRED ARCHITECT, ARCHITECTURAL	DEG DEL	DEGREE DELETE	FLUOR FN	Fluorescent Fence	INT INTL	Interior International	NTS NT WT	Not To Scale Net Weight	REINF REM	Reinforcing Removeable	TOC TOF	Top Of Concrete Top Of Footing
ASPH	ASPHALT	DEMO	DEMOLITION	FOC	Face of Concrete	IR	Inside Radius		Net Weight	REPL	Replace	TOL	Tolerance
ASSY ASTM	ASSEMBLY AMERICAN SOCIETY FOR TESTING MATERIALS	DEPT DET	DEPARTMENT DETAIL	FOF FOM	Face of Finish Face of Masonry	J-BOX	Junction Box	OA OB	Overall Outbound	REQD REQMTS	Required Requirements	TOM TOPO	Top Of Masonry Top Of Wall
AUTO	AUTOMATIC	DEV	DEVELOPMENT	FP	Fireproof, Flagpole	JAN	Janitor	OC	On Center	RESIL	Resilient	TOS	Top Of Steel
AUX AVG	AUXILIARY AVERAGE	DF DIA	DRINKING FOUNTAIN DIAMETER	FPM FPS	Foot Per Minute Foot Per Second	JAN CLO JNT	Janitor Closet Joint	OCC OD	Occupy Outside Diameter, Overflow Drain	RET REV	Retaining, Return Revision	TOW TP	Top Of Wall Telephone Pole
AWT	ACOUSTICAL WALL TREATMENT	DIAG	DIAGRAM	FR	Fire Resistant		Joint	OF	Outside Face, Owner Furnished	RFG	Roofing	TRANS	Translucent
BC.	BOLT CIRCLE, BOOKCASE	DIFF DIM	DIFFERENCE, DIFFUSER DIMENSION	FRG FRP	Flood Resistant Glazing Fiber Reinforced Plastic	KB KD	Knee Brace Knocked Down	OF/CI OF/OI	Owner Furnished/Contractor Installed Owner Furnished/Owner Installed	RFI RFI	Rigid Foam Insualtion Reguest for Information	TS TSTAT	Tube Steel Thermostat
BD	BOARD	DIR	DIRECTION	FS	Full Size	KIT	Kitchen	OFF	Office	RH	Right Hand	TV	Television
BEN BF	BENCH BOTH FACES	DISC DISP	DISCONNECT DISPENSER	FT FTG	Foot or Feet Footing	1	Left	OH OPH	Overhead, Overhang Opposite Hand	RM RND	Room Round	TYP	Typical
BFP	BACKFLOW PREVENTER	DIST	DISTANCE	FTR	Fin Tube Radiation	LA	Lighting Arrester	OPHD	Opposite Hand	RO	Rough Opening	UGND	Underground
BITUM	BITUMINOUS BASE LINE	DIV DMPF	DIVISION DAMPPROOFING	FURN FURR	Furniture Furring	LAB LAD	Laboratory Ladder	OPNG OPP	Opening Opposite	RT RTF	Right Rubber Tile Floor	UL UN	Underwriters Laboratory Unless Noted
BLDG	BUILDING	DMPR	DAMPER	FUT	Future	LAM	Laminate	OPT	Optional	RWL	Rain Water Leader	UNFIN	Unfinished
BLKT	BLANKET	DN	DOWN	FV	Field Verify	LAM GL LAV	Laminated Glass	OR ORIG	Outside Radius	RV	Roof Vent	UNO / UON UR	Unless Otherwise Noted
BLKG BLT	BLOCKING BORROWED LIGHT	DOM DOP	DOMESTIC DOOR OPENING	FVM FWC	Fare Vending Machine Fabric Wall Covering	LAV LB	Lavatory Pound	OVFL	Original Overflow	S	South	UTIL	Urinal Utility
BLW BM	BELOW BEAM, BENCHMARK	DOZ DR	DOZEN DOOR, DRAIN, DRIVE	0	Gas, Ground	LBL LCC	Label Lead Coated Copper	OZ	Ounce	SAN SAFB	Sanitary Sound Attenuation Fiber Blanket	UV	Unit Ventilator
BO	BY OTHERS	DS	DOWNSPOUT	GA	Gas, Ground Gauge	LF	Linear Foot	P&S	Power & Signal	SAFC	Suspended Acoustical Tile Ceiling	VAC	Vacuum
вон	BACK OF HOUSE	DSP	DRY STANDPIPE	GALV	Galvanized	LG	Length Left Hand	PARA	Paragraph	SB	Splash Block Sealed Concrete, Solid Core	VAN VAR	Vanity Variation, Varies
BOS BOT	BOTTOM OF STEEL BOTTOM	DTL DWG	DETAIL DRAWING	GALV STL GB	Galvanized Steel Grab Bar	LH LHR	Left Hand Reverse	PAR PART	Parallel Partition	SC SCHED	Schedule	VAR VB	Variation, Varies Vapor Barrier or Vinyl Base
B PL BP	BASE PLATE	F	FACT	GC CCV	General Contractor	LHS	Left Hand Side	PAT	Pattern Pull Box	SCHEM	Schematic	VT / VCT	Vinyl Composition Tile
BR BR	BUILDING PAPER BRASS	E EA	EAST EACH	GCV GD	Gas Vent Guard	LIN LINO	Linear Linoleum	PB PC	Pull Box Precast, Piece, Point of Curve	SCMU SCP	Solid Concrete Masonry Unit Scupper	VEN VER	Veneer Verify
BRZ	BRONZE	EB	EXPANSION BOLT	GEN	Generator	LIQ	Liquid	PCT	Percent	SCR	Screw	VERT	Vertical
BS BTWN	BOTH SIDES BETWEEN	EFF	EXHAUST FAN EFFICIENCY	GFCI GFRG	Ground Fault Circuit Interrupter Glass Fiber Reinforced Gypsum	LKR LL	Locker Live Load	PED PERF	Pedestal Perforated	SCRN SD	Screen Soap Dispenser, Storm Drain	VEST VIF	Vestibule Verify In Field
BUR	BUILT UP ROOF	EJ	EXPANSION JOINT	GL	Glass	LLH	Long Leg Horizontal	PERIM	Perimeter	SDL	Saddle	VMS	Variable Message Sign
l c	CHANNEL	EL ELEC	ELEVATION ELECTRIC, ELECTRICAL	GLZ GND	Glazing Ground	LLV LNG	Long Leg Vertical Longitude	PERM PERP	Permanent Perpendicular	SECT SEP	Section Separator, Separate	VOL VNR	Volume Veneer
CAA	CUSTOMER AREA ASSISTANCE	ELEV	ELEVATOR	GOVT	Government	LNTL	Lintel	PH	Phase	SF	Square Foot	VR	Vapor Retarder
CAB CCTV	CABINENT CLOSED CIRCUIT TELEVISION	EMER ENCL	EMERGENCY ENCLOSURE	GP GPD	Group Gallons Per Day	LONG LP	Longitudinal Low Point, Low Pressure, Light Pole	PI PIV	Point of Intersection Post Indicator Valve	SGL SHR	Single Shower	VTR VWC	Vent Thru Roof Vinyl Wall Covering
CCW	COUNTERCLOCKWISE	ENGR	ENGINEER	GPH	Gallons Per Hour	LRA	Locked Rotor Amps	PL	Plate, Property Line	SHT	Sheet		
CEM CER	CEMENT CERAMIC	ENTR EOS	ENTRANCE EDGE OF SLAB	GPM GPS	Gallons Per Minute Gallons Per Second	LS LT	Lump Sum Light	PLAM PLAS	Plastic Laminate Plaster	SHTHG SHV	Sheathing Shelving	W W/	West, Waste, Wide With
CF/CI	CONTRACTOR FURNISHED / CONTR INSTALLED	EP	ELECTRICAL PANEL	GR	Grade	LTWT	Lightweight	PLAT	Platform	SIM	Similar	WC	Water Closet
CFE CFM	CONTRACTOR FURNISHED EQUIP CUBIC FOOT (FEET) PER MINUTE	EPA EQ	ENVIRONMENTAL PROTECTION AGENCY EQUAL	GR FL GR WT	Ground Floor Gross Weight	LTG LVR	Lighting Louver	PLBG PLC	Plumbing Place	SLNT SLV	Sealant Sleeve	WCO WD	Wall Cleanout Wood
CF/OI	CONTRACTOR FURNISHED / OWNER INSTALLED	EQL SP	EQUALLY SPACED	GRAN	Granite			PLF	Pounds Per Linear Foot	SK	Sink	WDW	Window
CFS CG	CUBIC FOOT (FEET) PER SECOND CORNER GUARD	EQUIP EQUIV	EQUIPMENT EQUIVALENT	GRL GRTG	Grille Grating	MACH MACH RM	Machine Machine Room	PLYWD PM	Plywood Pressed Metal	SM SP	Sheet Metal Spray Particle Paint	WF WGL	Wide Flange Wired Glass
CHB	CHALKBOARD	ESB	EXTERIOR SOFFIT BOARD	GSKT	Gasket	MAINT	Maintenance	PN	Part Number	SPEC	Specifications	WH	Wall Hydrant
CHFR CHK	CHAMFER CHECK	ESC ESMT	ESCAPE EASEMENT	GSU GT	Glazed Structural Unit Grout	MANF MAS	Manufacturer Masonry	PNEU PNL	Pneumatic Panel	SPKLR SPKR	Sprinkler Speaker	WI WLD	Wrought Iron Welded
CHR	CHROME	ETR	EXISTING TO REMAIN	GVL	Gravel	MATL	Material	POB	Point of Beginning	SPLT	Supply	WM	Wire Mesh
CI CIR	CAST IRON CIRCLE	EWC EWH	ELECTRICAL WATER COOLER ELECTRICAL WATER HEATER	GWB GYP BD	Gypsum Wall Board Gypsum Board	MAX MB	Maximum Mail Box, Mixing Box	PORC POS	Porcelain Position	SPRT SQ	Support Square	W/O WP	Without Working Point
CJ	CONTROL JOINT	EX	EXAMPLE	GYP	Gypsum	MDO	Medium Density Overlay	PP	Polypropylene	SQ IN	Square Inch	WT	Weight
CKT CKT BRKR	CIRCUIT CIRCUIT BREAKER	EXC EXH	EXCAVATE EXHAUST	н	Hatch, High	MECH MECH RM	Mechanical Mechanical Room	PR PREFAB	Pair Prefabricate	SQ YD SS / SST	Square Yard Stainless Steel	WTH WTR	Width Water
CL	CENTER LINE, CLASS	EXHV	EXHAUST VENT	HAZ	Hazard	MED	Medium	PRELIM	Preliminary	SSUR	Solid Surface	WTRPRF	Waterproofing
CLG CLG HT	CEILING CEILING HEIGHT	EXIST EXP	EXISTING EXPANSION	HB HC	Hose Bibb Handicapped, Hollow Core	MEMB MEZZ	Membrane Mezzanine	PRESS PREV	Pressure Previous	STD STIF	Standard Stiffener	WWF	Welded Wire Fabric
CLO	CLOSET	EXT	EXTERIOR, EXTERNAL, EXTINGUISHER	HCMU	Hollow Concrete Masonry Unit	MF	Metal Flashing	PRI	Primary	STL	Steel	XFMR	Transformer
CLR CMPST	CLEAR COMPOSITE	F	Farenhit, Female	HD HDBD	Head Hardboard	MFD MFG	Manufactured Manufacturing	PRKG PRMT	Parking Perimeter	STM STOR	Steam Storage	X SECT	Cross Section
CMU	CONCRETE MASONRY UNIT	FA	Fire Alarm, Fresh Air	HDPE	нагороаго High Density Polyethylene	MFR	Manufacturer	PROJ	Project	STR	Structural	YD	Yard, Yard Drain
CNTR	COUNTER CLEAN OUT, COMPANY	FAB FACP	Fabric Fire Alarm Control Panel	HDW HDWD	Hardware Hardwood	MFR REC MGT	Manufacturer's Recommendation Management	PSF PSI	Pound Per Square Foot Pound Per Square Inch	SUM SUPT	Summary Support	YH YR	Yard Hydrant Year
COL	COLUMN	FAI	Fresh Air Inlet	HDWL	Headwall	MH	Manhole	PT	Paint, Pressure Treated	SURF	Support Surface	ΙΠ	i Gai
				HEX	Hexagon	MIC	Microphone	PTN	Partition				



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ABBREVIATIONS

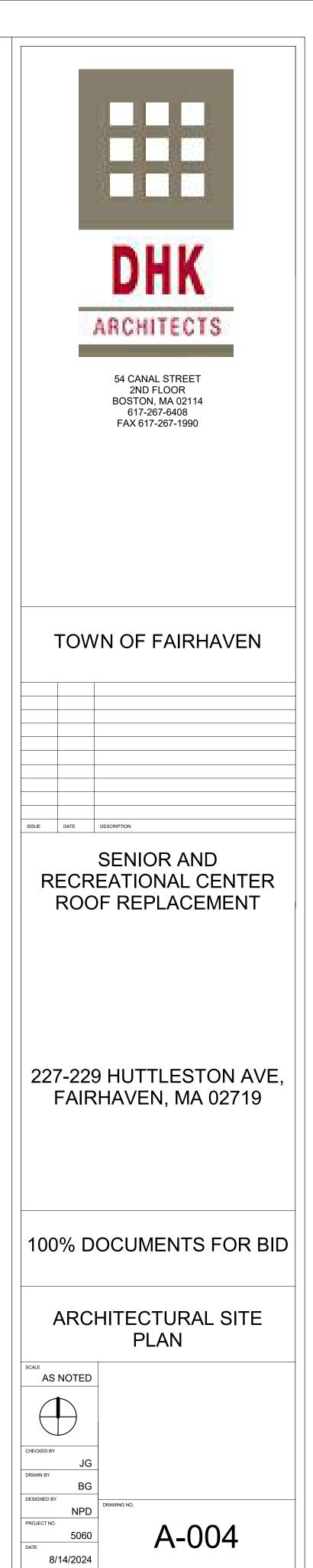
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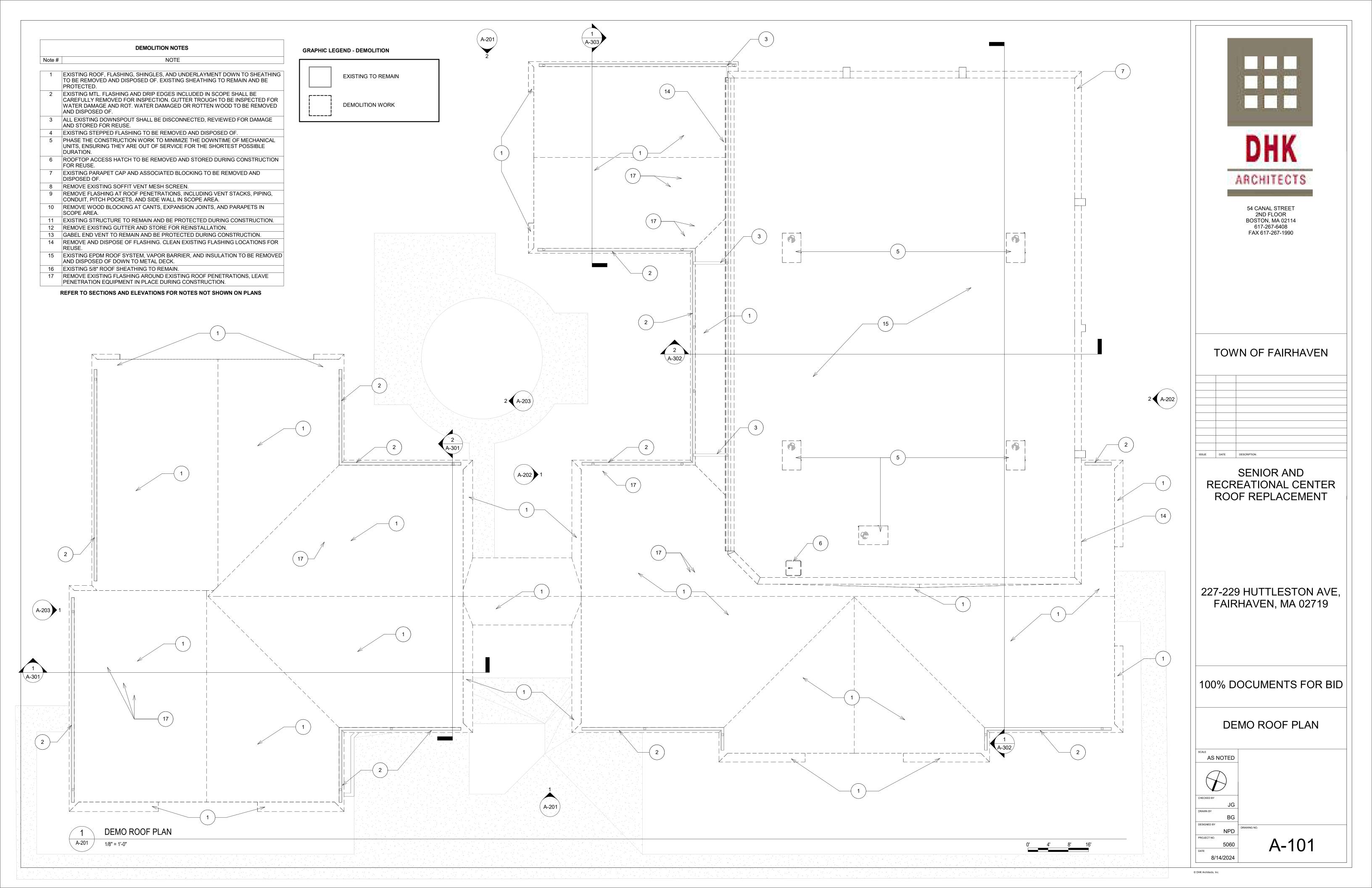
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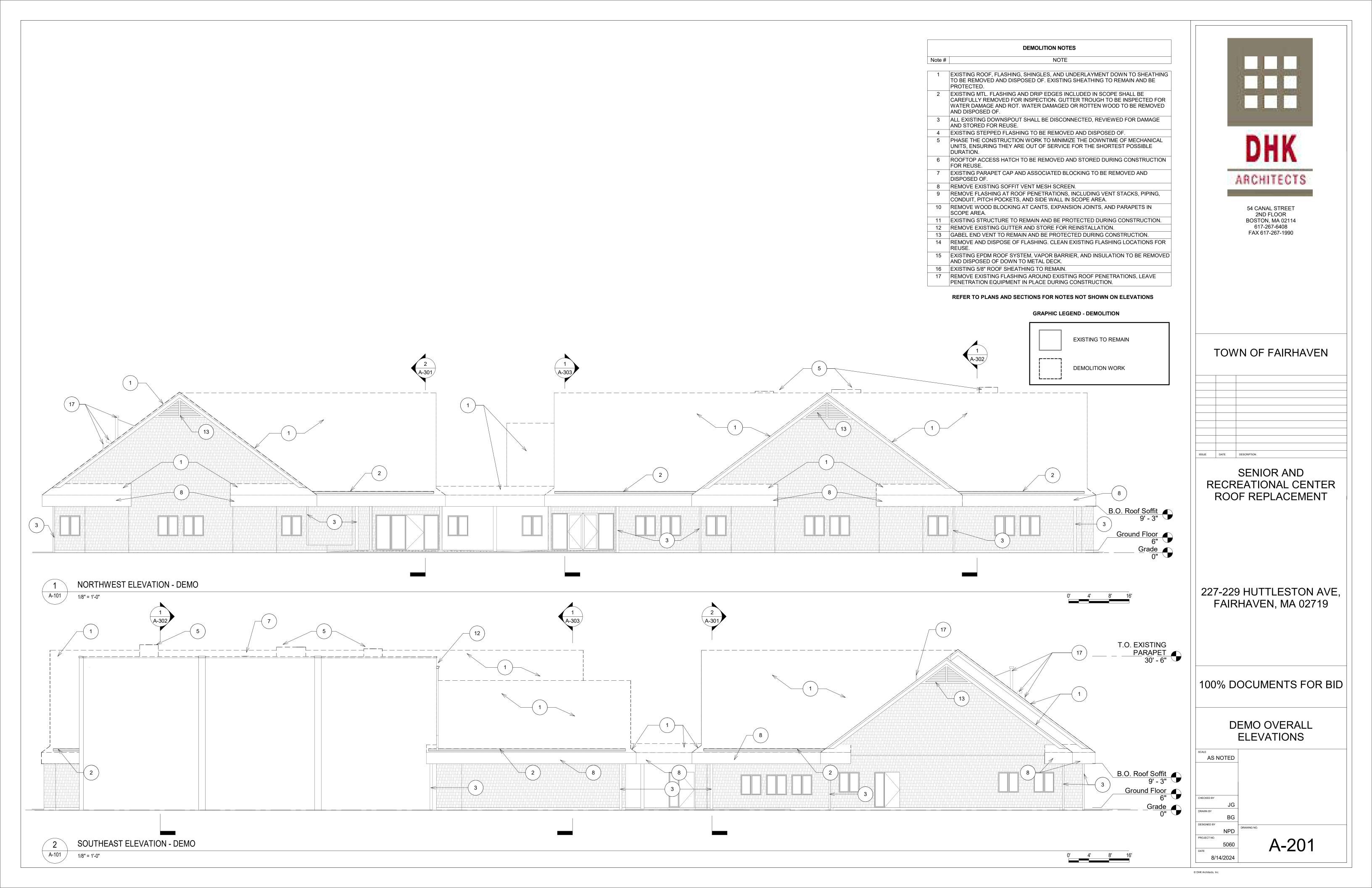
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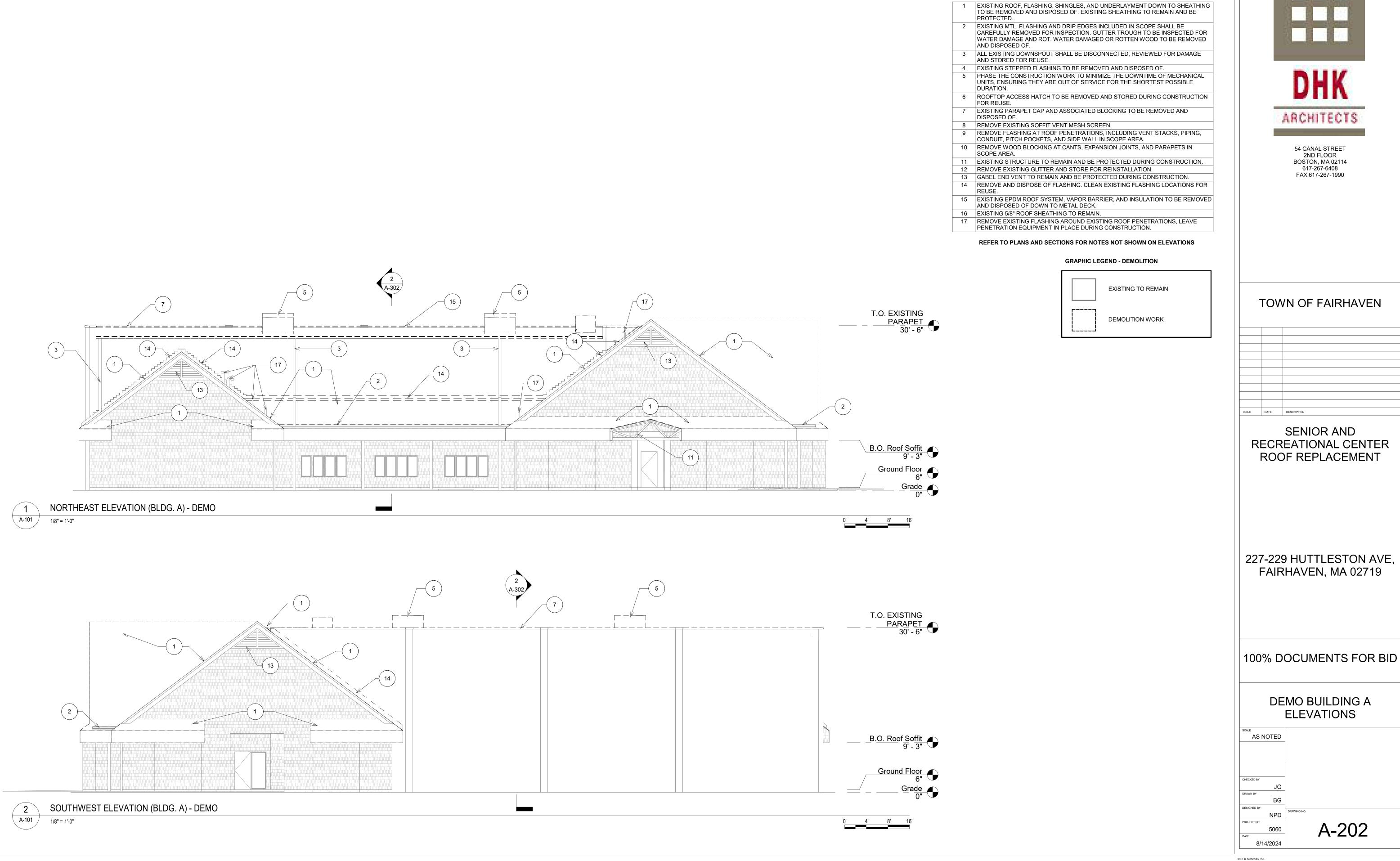
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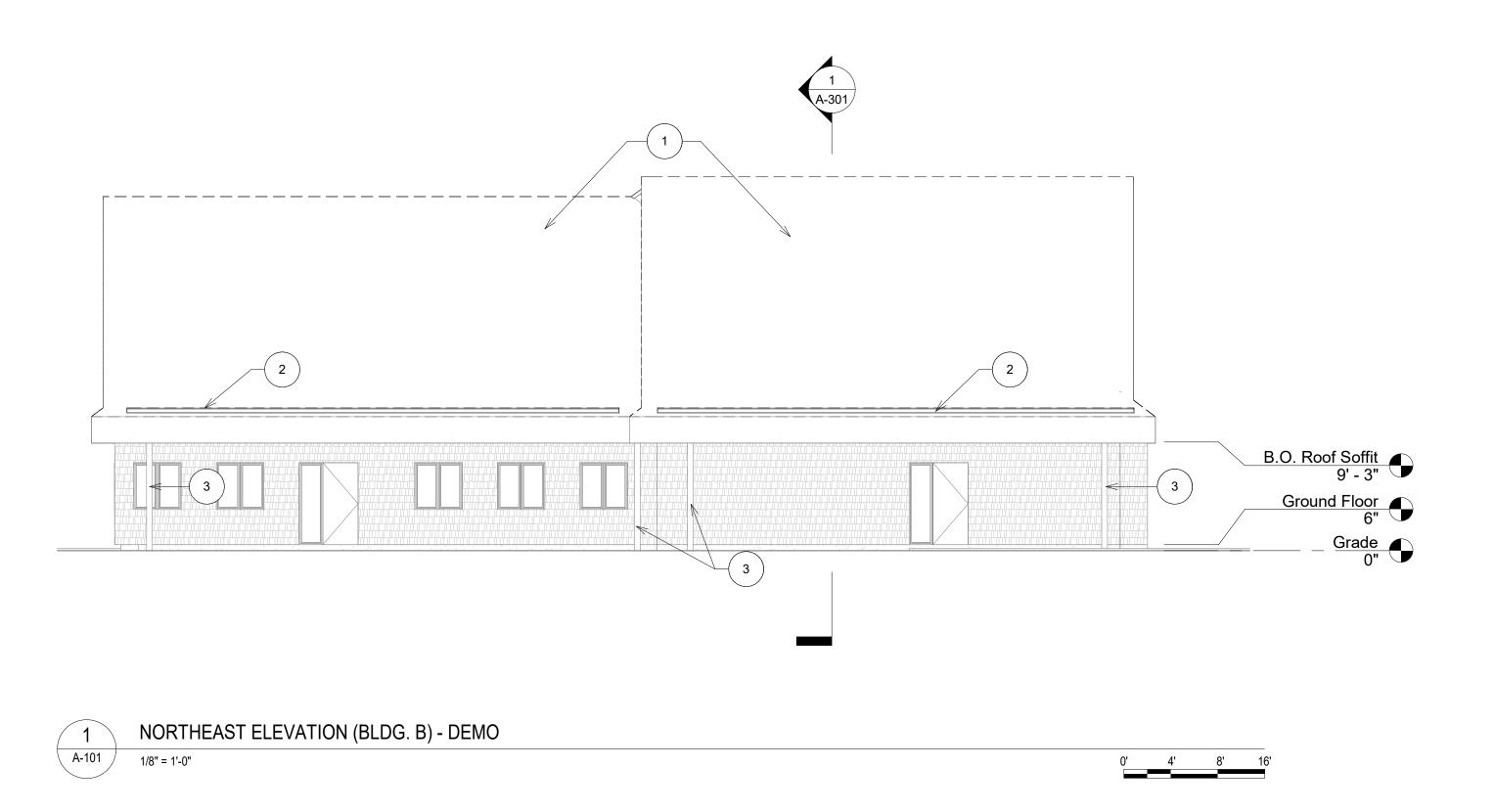


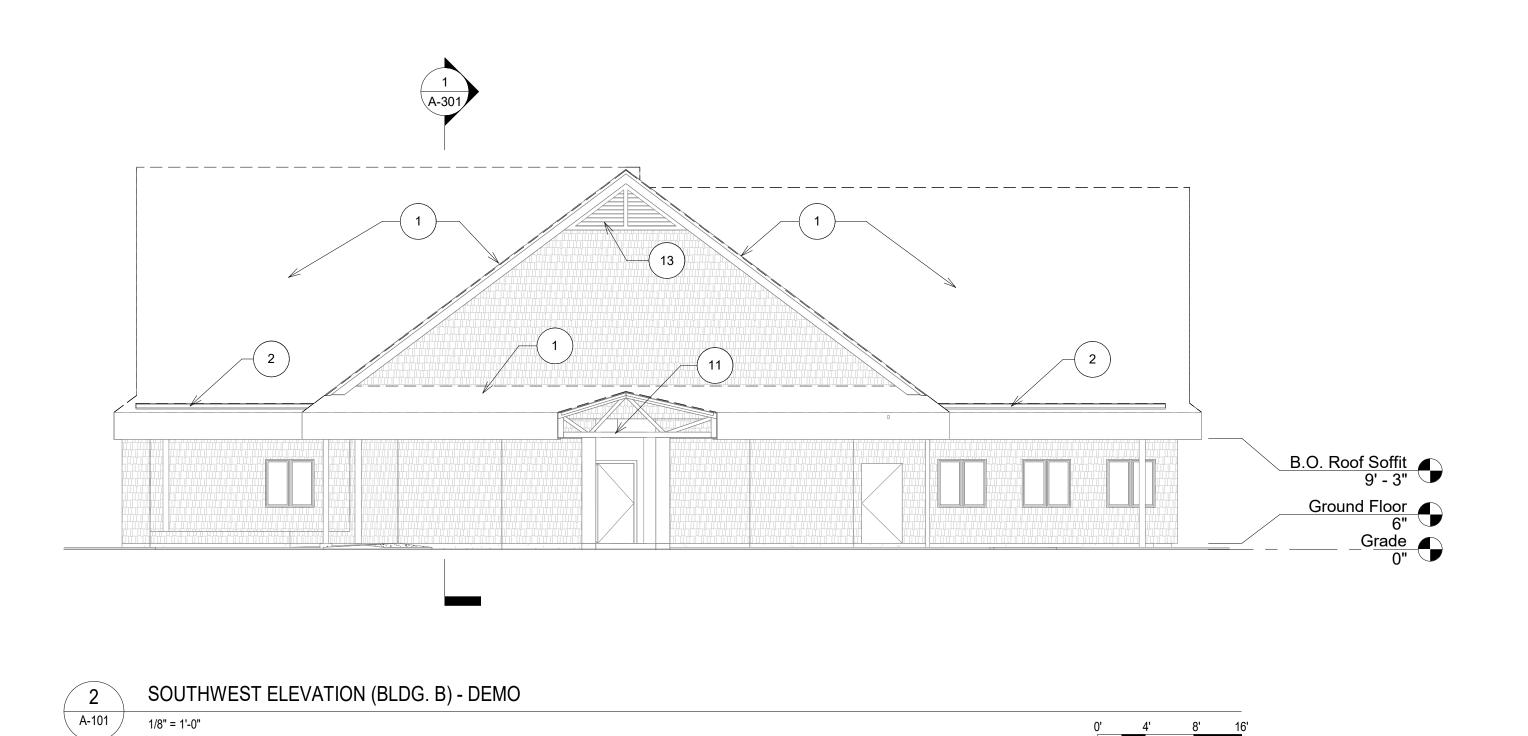




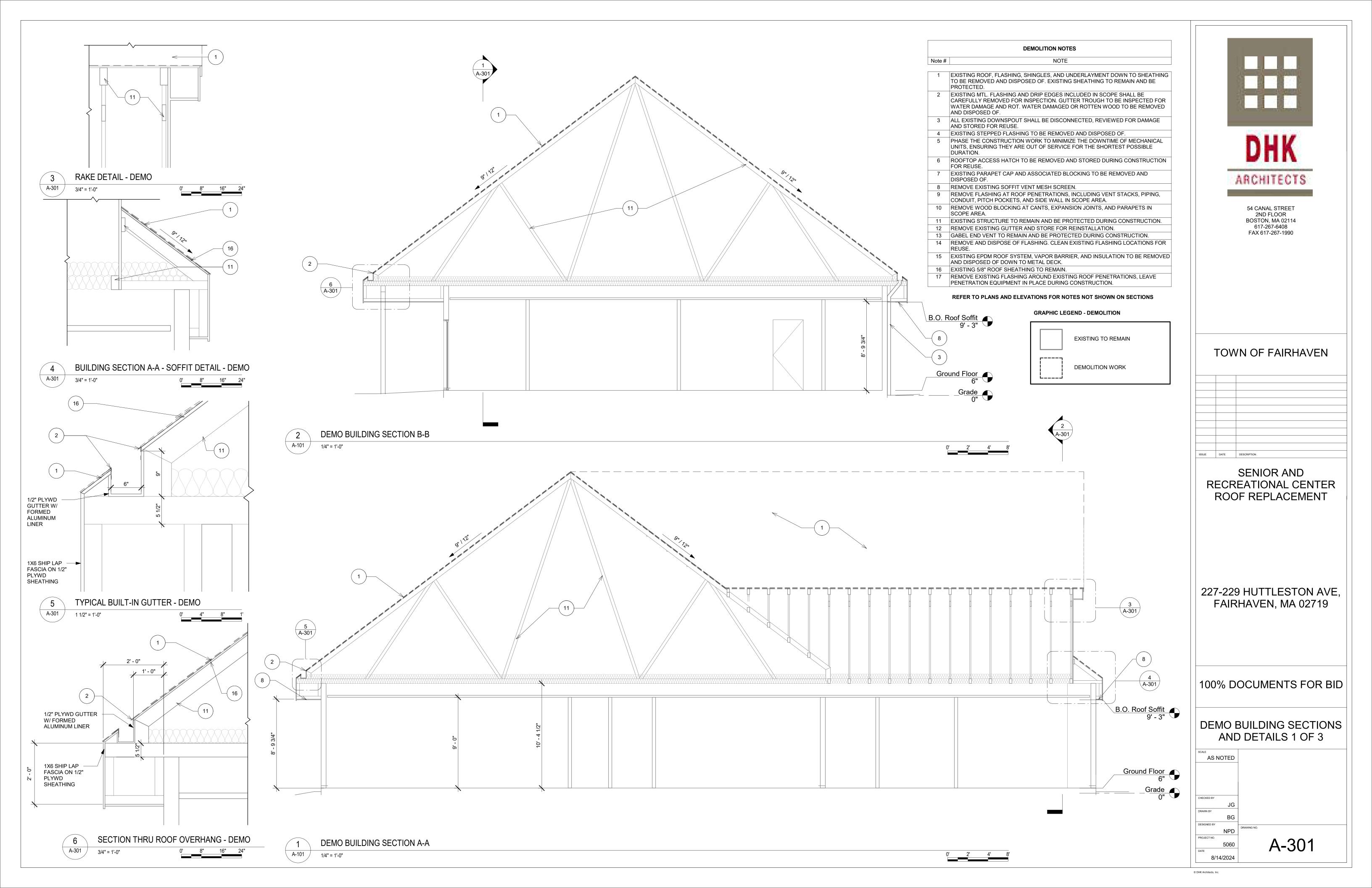
DEMOLITION NOTES

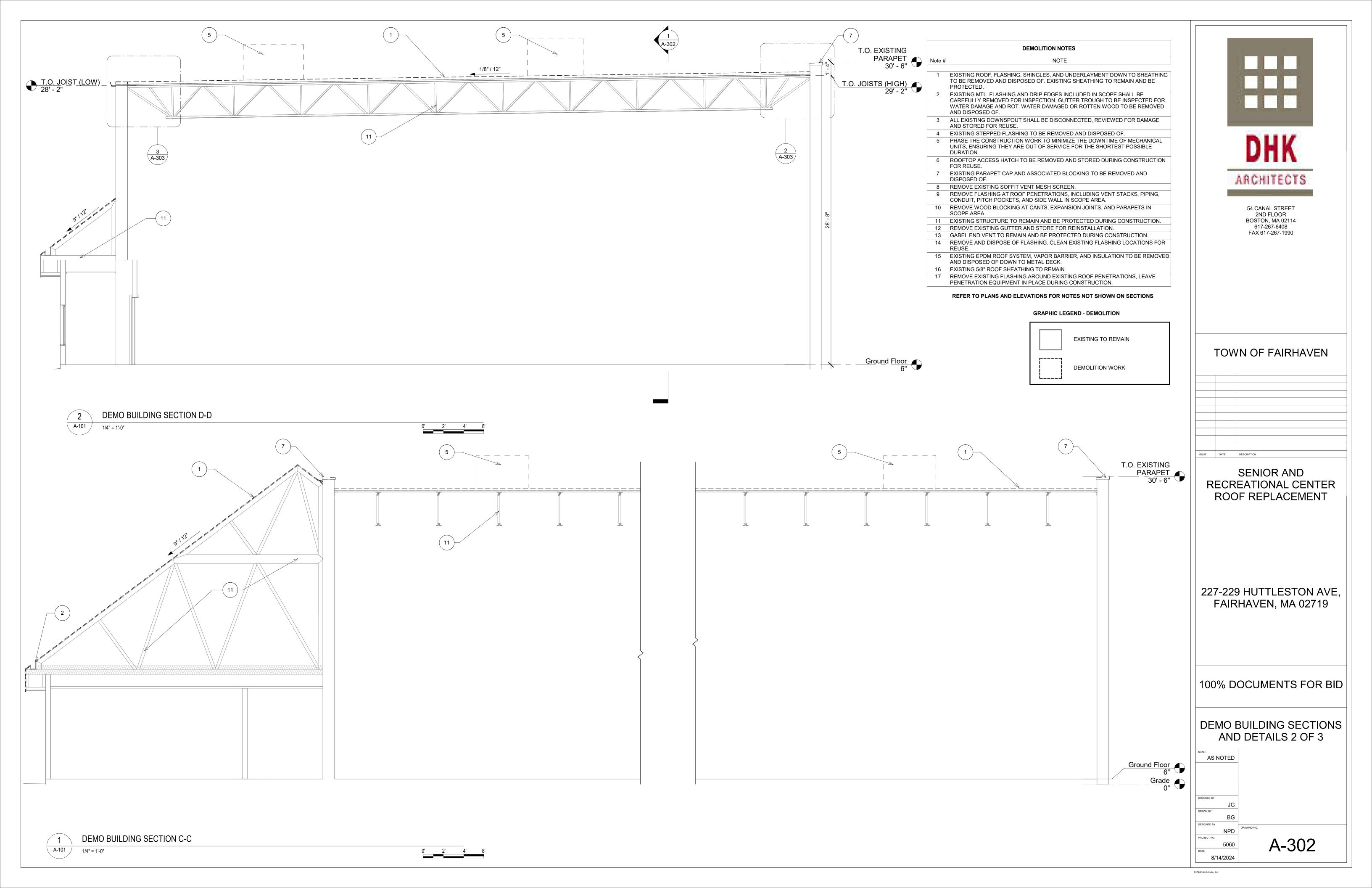
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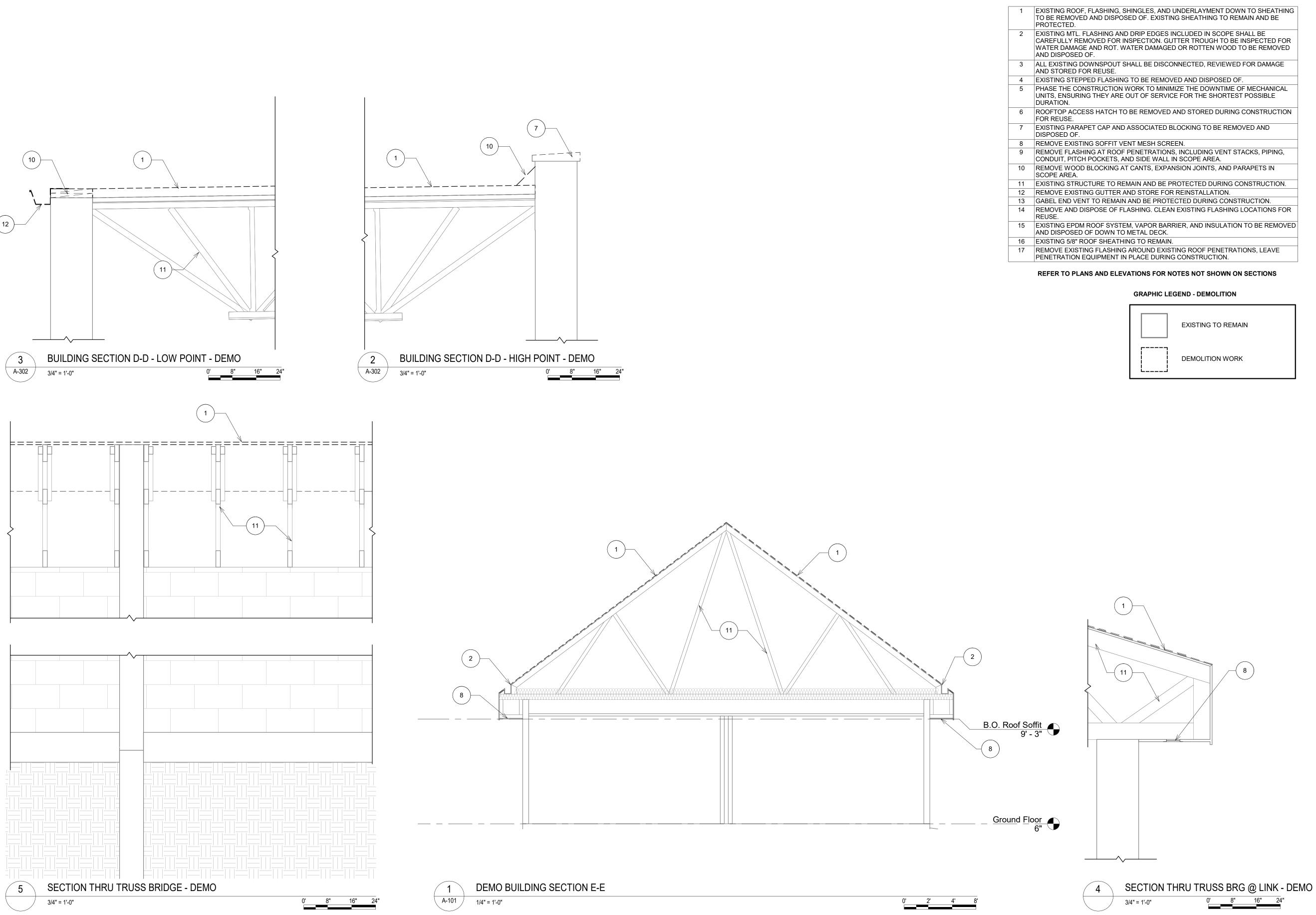




Note #	DEMOLITION NOTES NOTE	
1	EXISTING ROOF, FLASHING, SHINGLES, AND UNDERLAYMENT DOWN TO SHEATHING TO BE REMOVED AND DISPOSED OF. EXISTING SHEATHING TO REMAIN AND BE	
2	PROTECTED. EXISTING MTL. FLASHING AND DRIP EDGES INCLUDED IN SCOPE SHALL BE CAREFULLY REMOVED FOR INSPECTION. GUTTER TROUGH TO BE INSPECTED FOR WATER DAMAGE AND ROT. WATER DAMAGED OR ROTTEN WOOD TO BE REMOVED	
3	AND DISPOSED OF. ALL EXISTING DOWNSPOUT SHALL BE DISCONNECTED, REVIEWED FOR DAMAGE AND STORED FOR REUSE.	
<u>4</u> 5	EXISTING STEPPED FLASHING TO BE REMOVED AND DISPOSED OF. PHASE THE CONSTRUCTION WORK TO MINIMIZE THE DOWNTIME OF MECHANICAL UNITS, ENSURING THEY ARE OUT OF SERVICE FOR THE SHORTEST POSSIBLE DURATION.	DHK
6 7	ROOFTOP ACCESS HATCH TO BE REMOVED AND STORED DURING CONSTRUCTION FOR REUSE. EXISTING PARAPET CAP AND ASSOCIATED BLOCKING TO BE REMOVED AND	DIIIX
8	DISPOSED OF. REMOVE EXISTING SOFFIT VENT MESH SCREEN. REMOVE FLASHING AT ROOF PENETRATIONS, INCLUDING VENT STACKS, PIPING, CONDUIT, PITCH POCKETS, AND SIDE WALL IN SCOPE AREA.	ARCHITECTS
10	REMOVE WOOD BLOCKING AT CANTS, EXPANSION JOINTS, AND PARAPETS IN SCOPE AREA. EXISTING STRUCTURE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.	54 CANAL STREET 2ND FLOOR BOSTON, MA 02114
12 13 14	REMOVE EXISTING GUTTER AND STORE FOR REINSTALLATION. GABEL END VENT TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. REMOVE AND DISPOSE OF FLASHING. CLEAN EXISTING FLASHING LOCATIONS FOR	617-267-6408 FAX 617-267-1990
15	REUSE. EXISTING EPDM ROOF SYSTEM, VAPOR BARRIER, AND INSULATION TO BE REMOVED AND DISPOSED OF DOWN TO METAL DECK.	
16 17	EXISTING 5/8" ROOF SHEATHING TO REMAIN. REMOVE EXISTING FLASHING AROUND EXISTING ROOF PENETRATIONS, LEAVE PENETRATION EQUIPMENT IN PLACE DURING CONSTRUCTION.	
	REFER TO PLANS AND SECTIONS FOR NOTES NOT SHOWN ON ELEVATIONS	
	GRAPHIC LEGEND - DEMOLITION	
	EXISTING TO REMAIN	TOWN OF FAIRHAVEN
	DEMOLITION WORK	
	<u> </u>	
		SENIOR AND
		RECREATIONAL CENTER ROOF REPLACEMENT
		227-229 HUTTLESTON AVE FAIRHAVEN, MA 02719
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		DEMO BUILDING B ELEVATIONS
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		CHECKED BY JG DRAWN BY BG DESIGNED BY
		NPD DRAWING NO.







ARCHITECTS **54 CANAL STREET** 2ND FLOOR BOSTON, MA 02114 617-267-6408 FAX 617-267-1990 TOWN OF FAIRHAVEN SENIOR AND RECREATIONAL CENTER ROOF REPLACEMENT 227-229 HUTTLESTON AVE, FAIRHAVEN, MA 02719 100% DOCUMENTS FOR BID DEMO BUILDING SECTIONS AND DETAILS 3 OF 3 AS NOTED

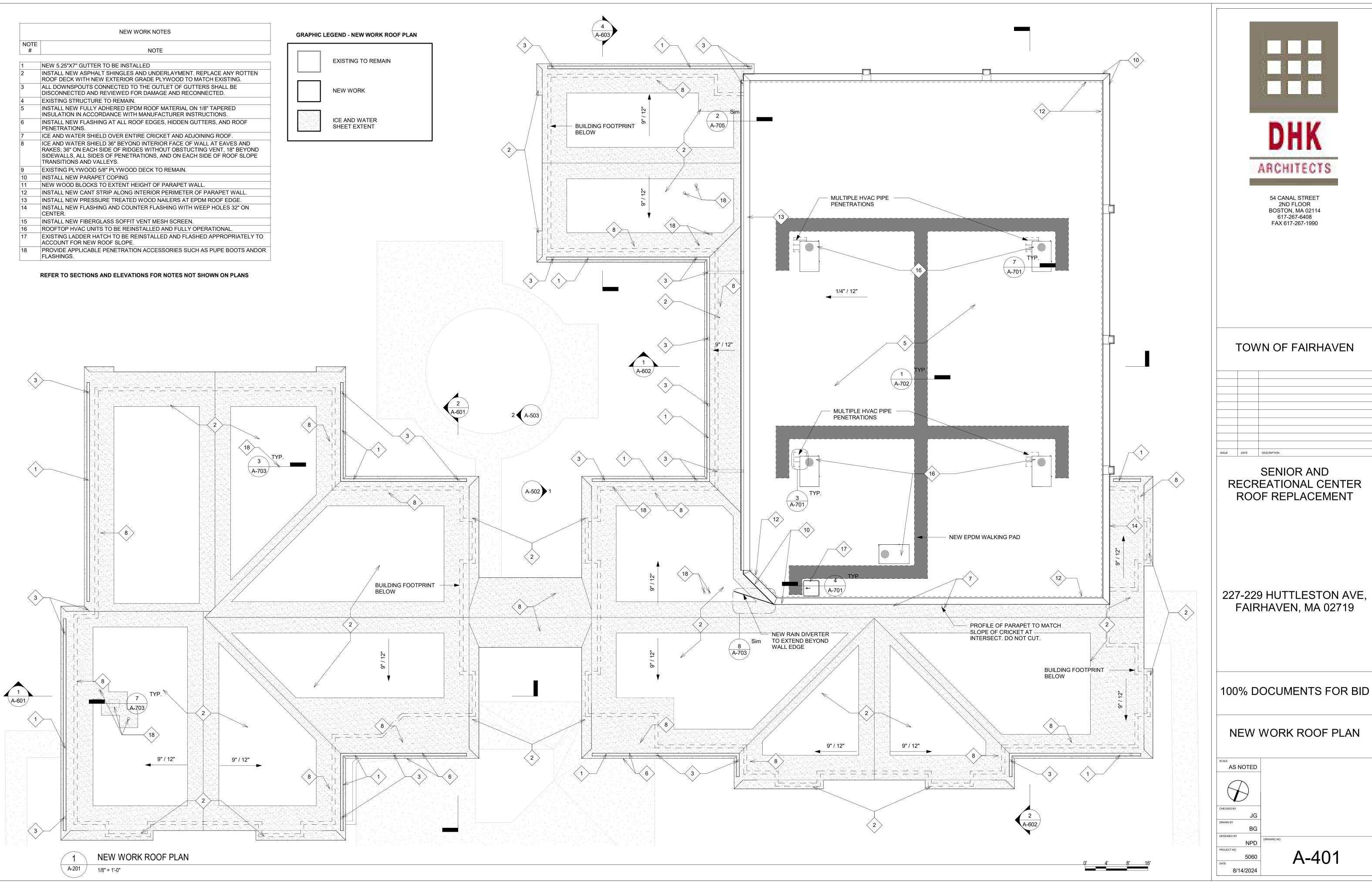
DEMOLITION NOTES

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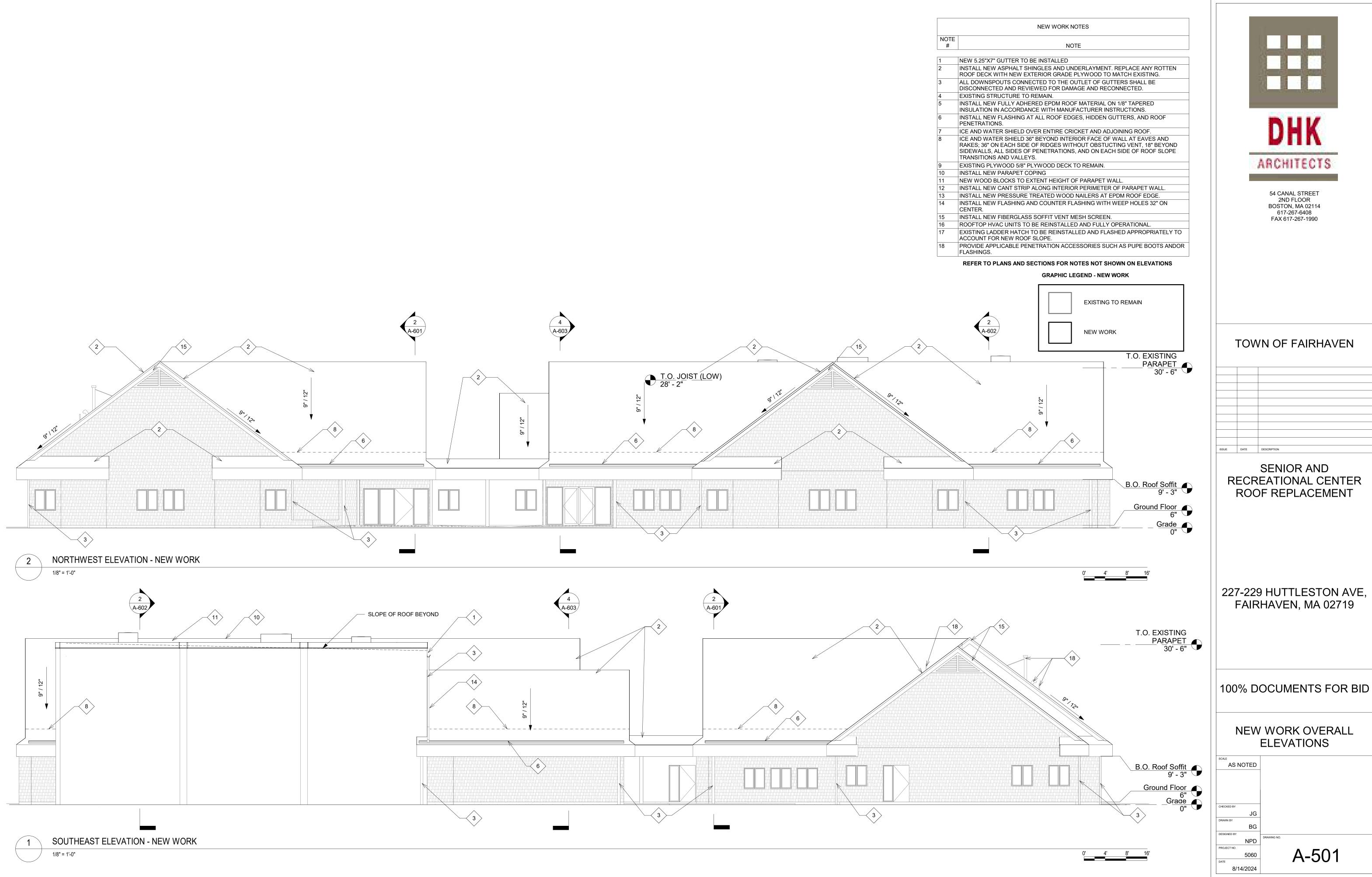
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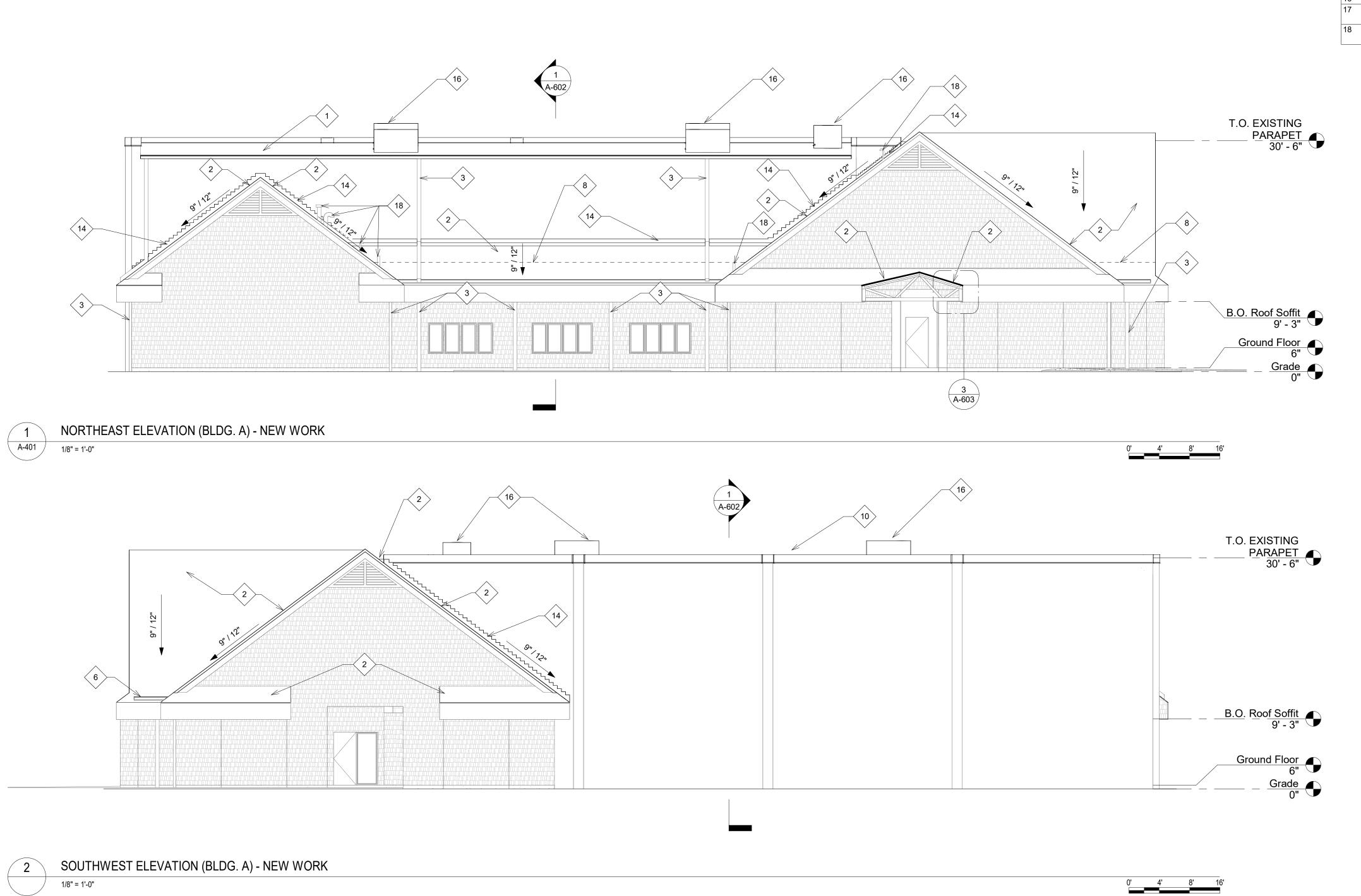
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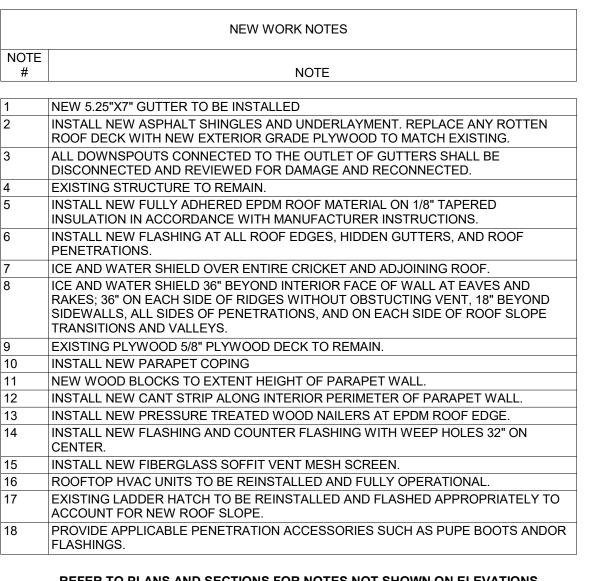
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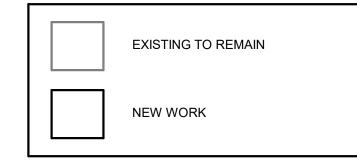






REFER TO PLANS AND SECTIONS FOR NOTES NOT SHOWN ON ELEVATIONS

GRAPHIC LEGEND - NEW WORK



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617-267-6408

FAX 617-267-1990

TOWN OF FAIRHAVEN

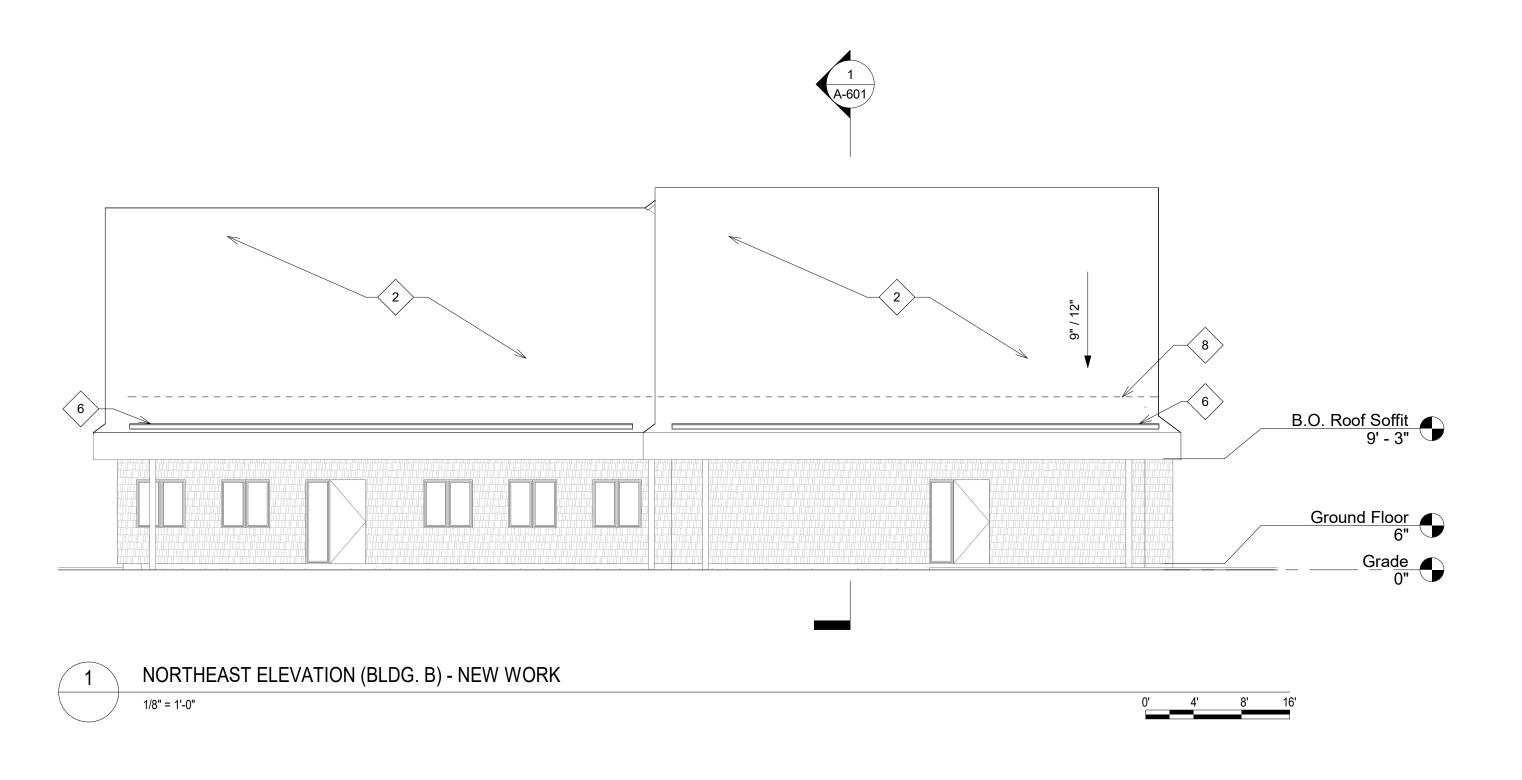
ISSUE DATE DESCRIPTION SENIOR AND RECREATIONAL CENTER ROOF REPLACEMENT

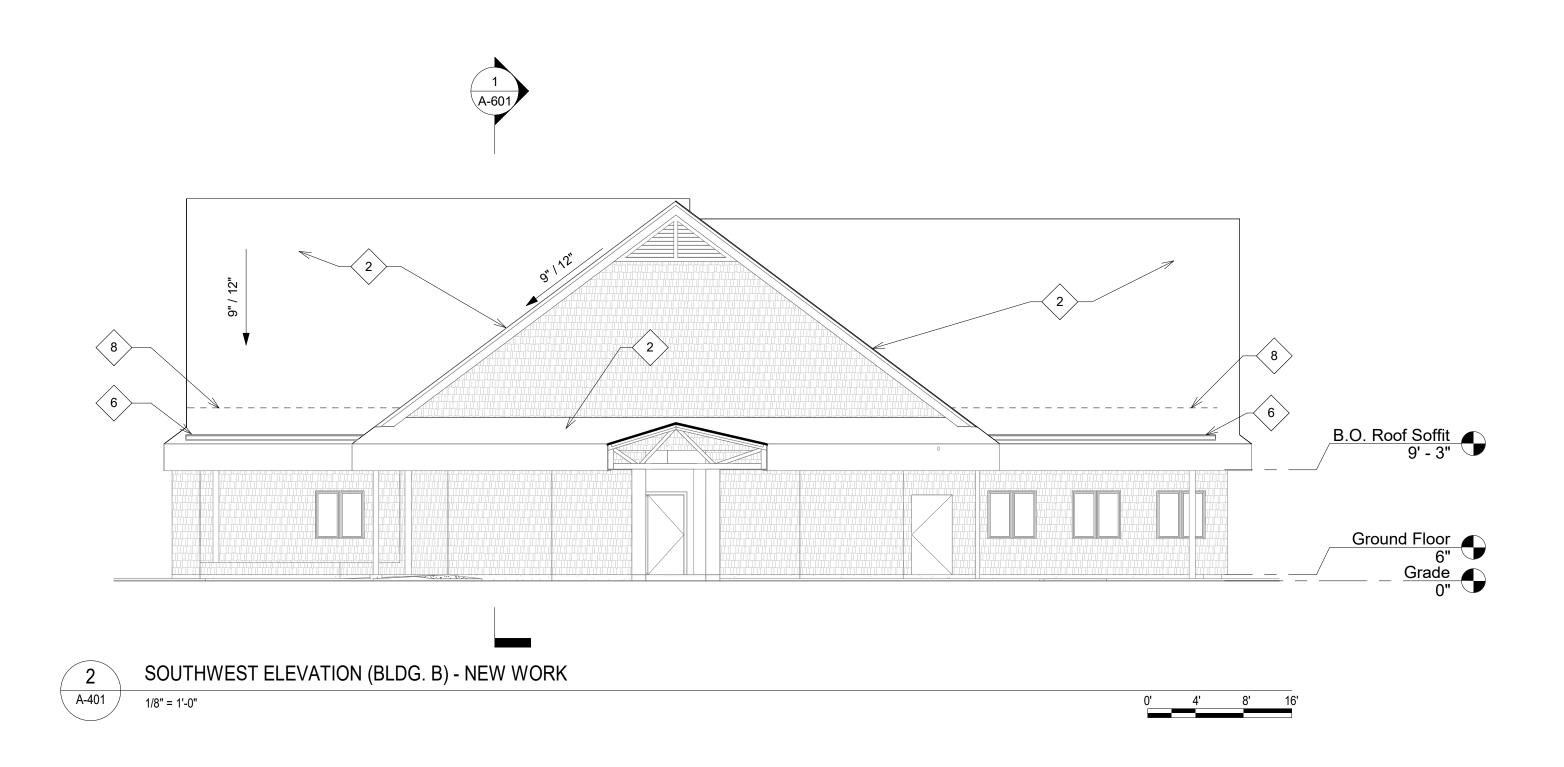
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NEW WORK BUILDING A **ELEVATIONS**

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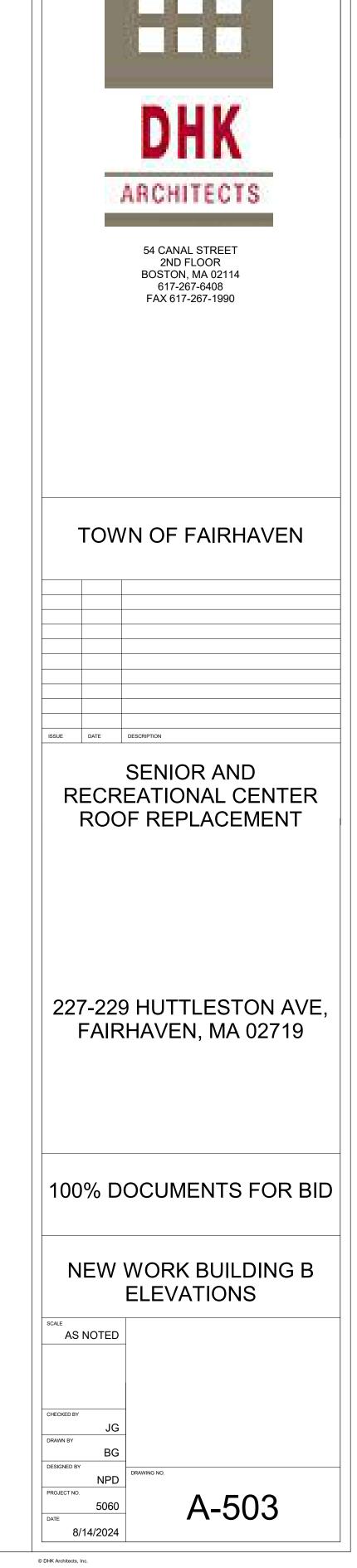


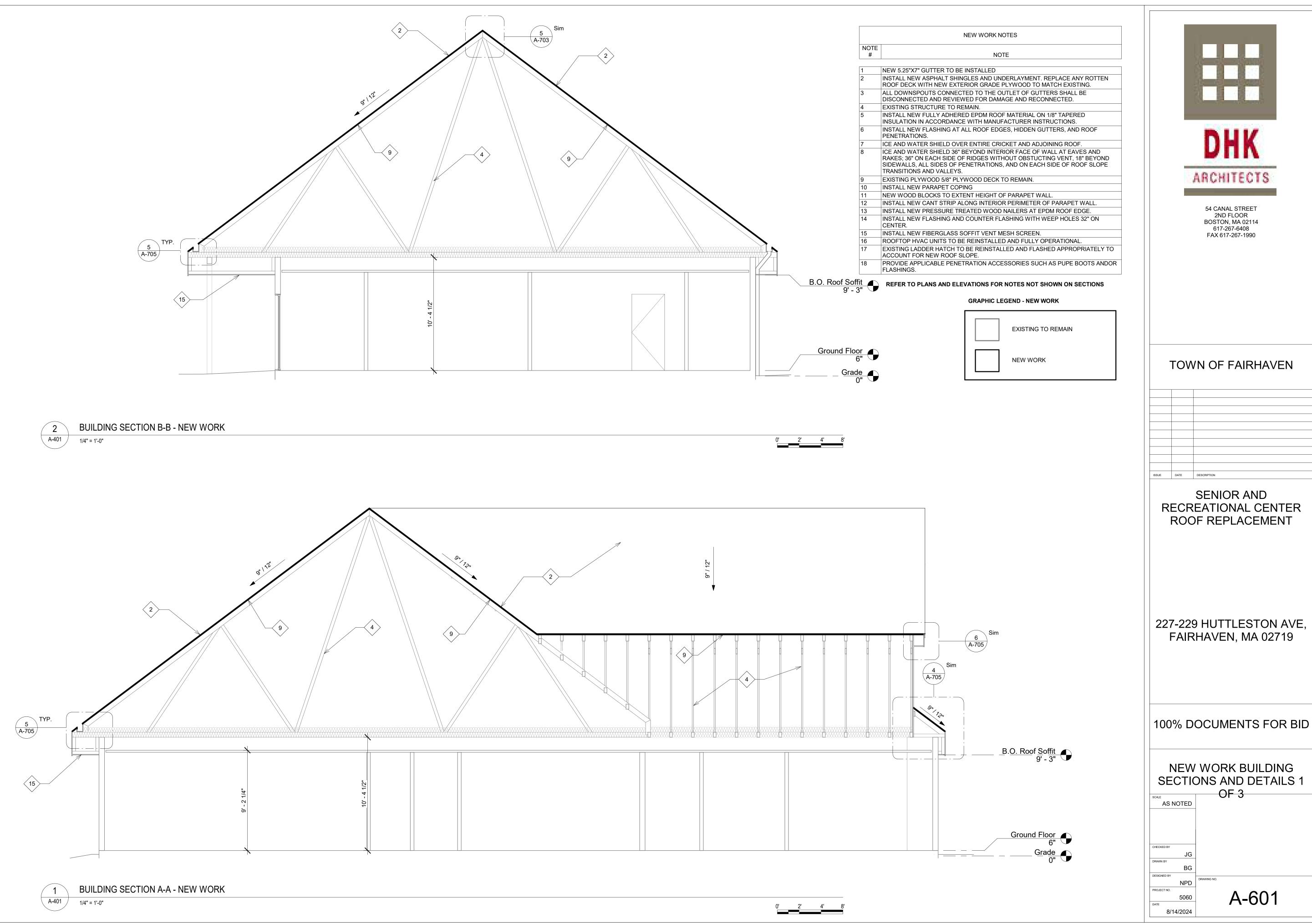


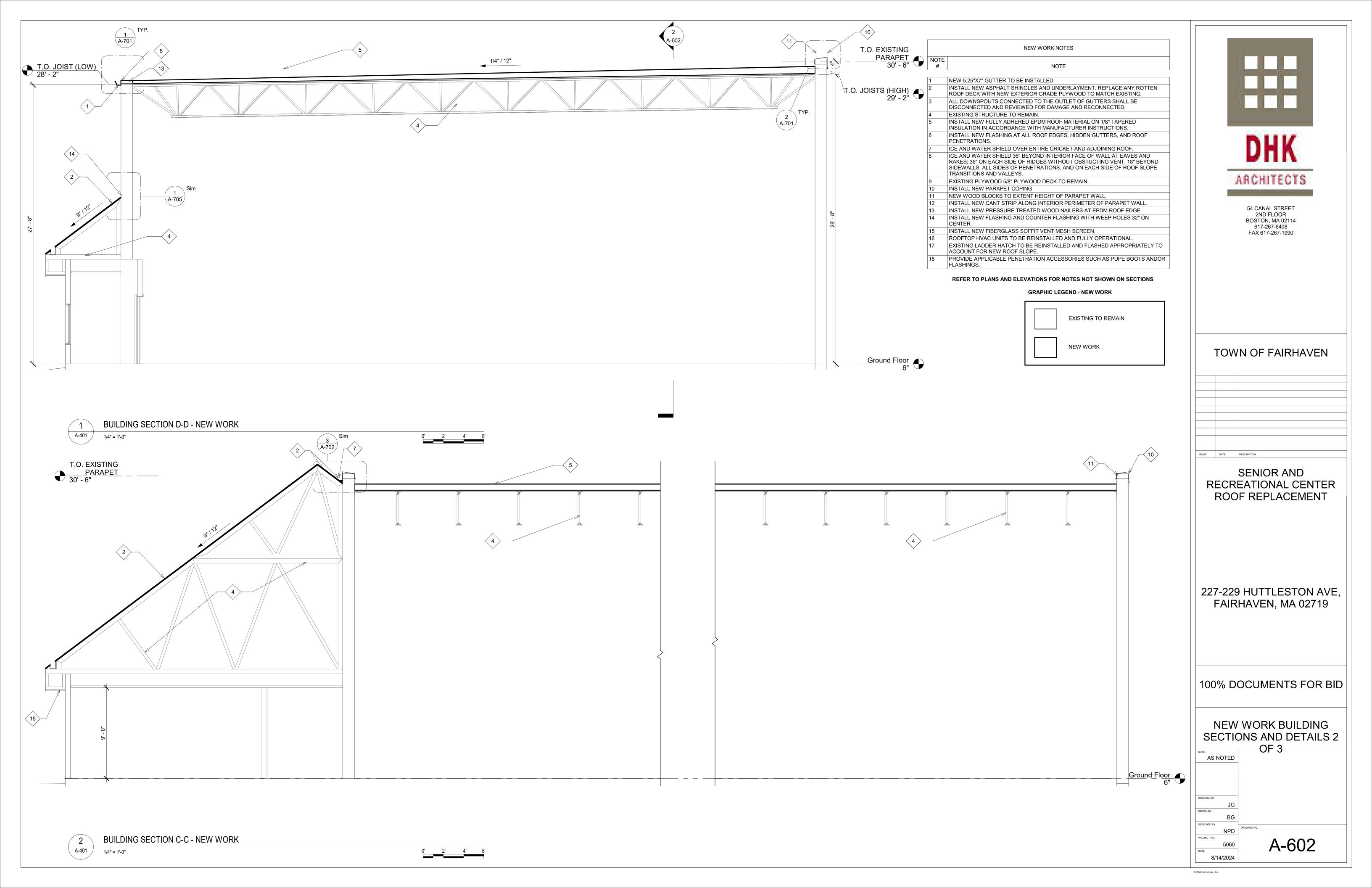
	NEW WORK NOTES
NOTE #	NOTE
1	NEW 5.25"X7" GUTTER TO BE INSTALLED
2	INSTALL NEW ASPHALT SHINGLES AND UNDERLAYMENT. REPLACE ANY ROTTEN ROOF DECK WITH NEW EXTERIOR GRADE PLYWOOD TO MATCH EXISTING.
3	ALL DOWNSPOUTS CONNECTED TO THE OUTLET OF GUTTERS SHALL BE DISCONNECTED AND REVIEWED FOR DAMAGE AND RECONNECTED.
4	EXISTING STRUCTURE TO REMAIN.
5	INSTALL NEW FULLY ADHERED EPDM ROOF MATERIAL ON 1/8" TAPERED INSULATION IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.
6	INSTALL NEW FLASHING AT ALL ROOF EDGES, HIDDEN GUTTERS, AND ROOF PENETRATIONS.
7	ICE AND WATER SHIELD OVER ENTIRE CRICKET AND ADJOINING ROOF.
8	ICE AND WATER SHIELD 36" BEYOND INTERIOR FACE OF WALL AT EAVES AND RAKES; 36" ON EACH SIDE OF RIDGES WITHOUT OBSTUCTING VENT, 18" BEYOND SIDEWALLS, ALL SIDES OF PENETRATIONS, AND ON EACH SIDE OF ROOF SLOPE TRANSITIONS AND VALLEYS.
9	EXISTING PLYWOOD 5/8" PLYWOOD DECK TO REMAIN.
10	INSTALL NEW PARAPET COPING
11	NEW WOOD BLOCKS TO EXTENT HEIGHT OF PARAPET WALL.
12	INSTALL NEW CANT STRIP ALONG INTERIOR PERIMETER OF PARAPET WALL.
13	INSTALL NEW PRESSURE TREATED WOOD NAILERS AT EPDM ROOF EDGE.
14	INSTALL NEW FLASHING AND COUNTER FLASHING WITH WEEP HOLES 32" ON CENTER.
15	INSTALL NEW FIBERGLASS SOFFIT VENT MESH SCREEN.
16	ROOFTOP HVAC UNITS TO BE REINSTALLED AND FULLY OPERATIONAL.
17	EXISTING LADDER HATCH TO BE REINSTALLED AND FLASHED APPROPRIATELY TO ACCOUNT FOR NEW ROOF SLOPE.
18	PROVIDE APPLICABLE PENETRATION ACCESSORIES SUCH AS PUPE BOOTS ANDO FLASHINGS.
	REFER TO PLANS AND SECTIONS FOR NOTES NOT SHOWN ON ELEVATIONS GRAPHIC LEGEND - NEW WORK

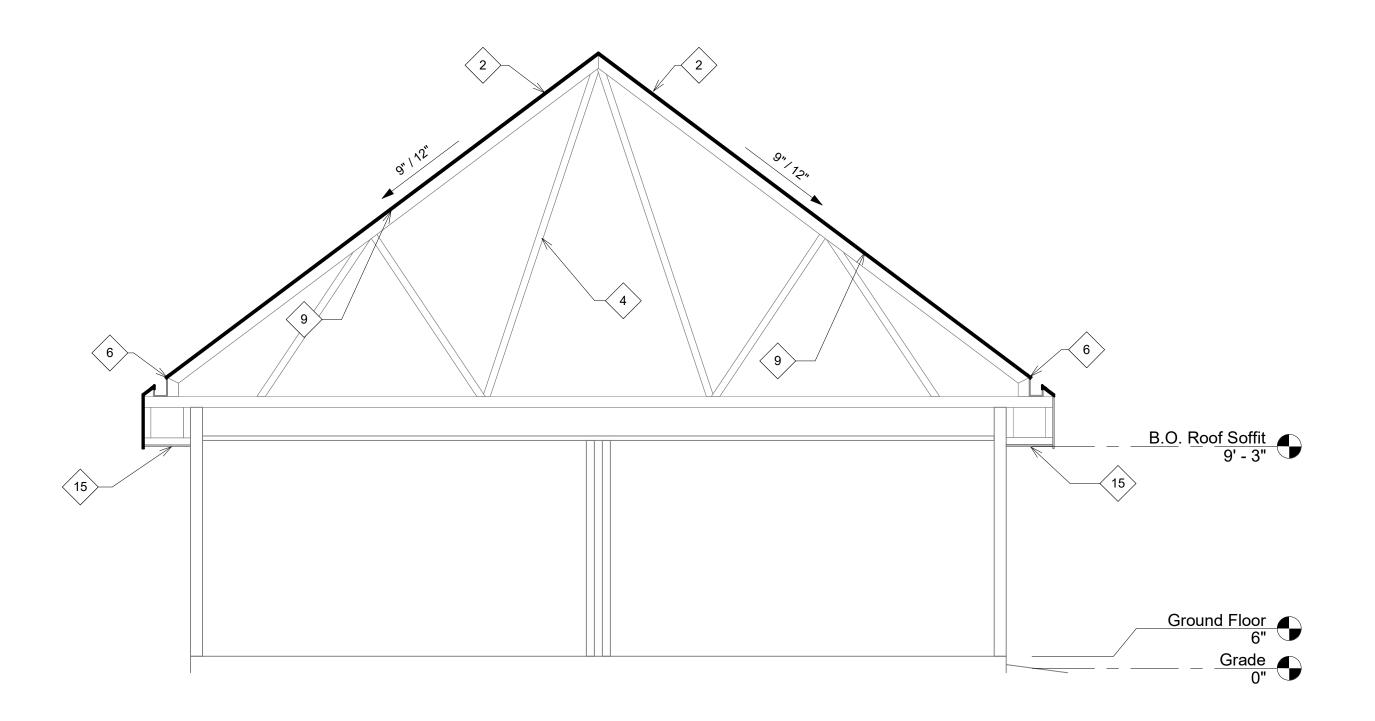
EXISTING TO REMAIN

NEW WORK





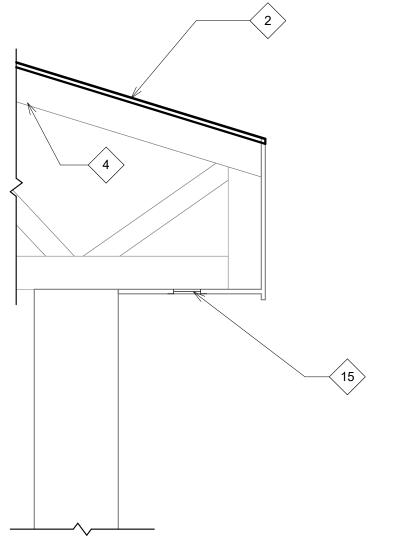




BUILDING SECTION E-E - NEW WORK

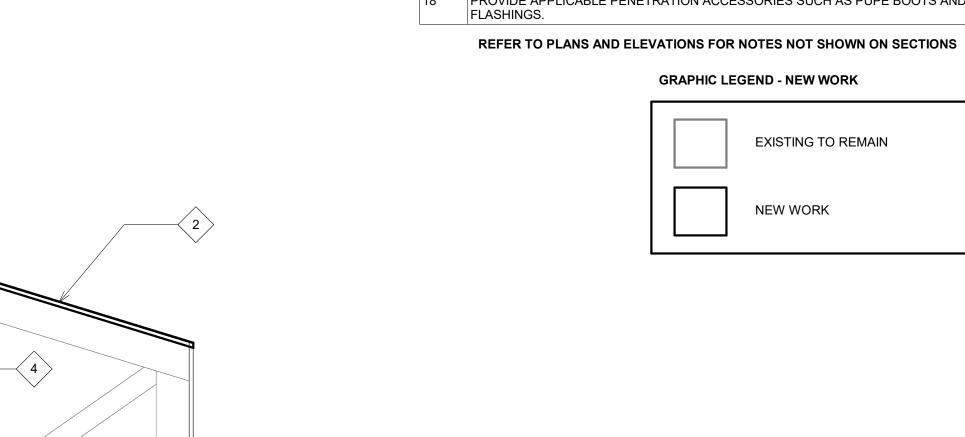
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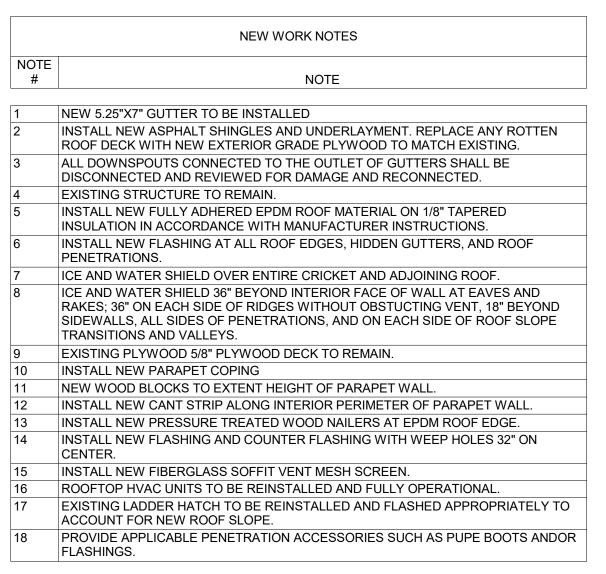
1/4" = 1'-0"



A-502

SECTION THRU TRUSS BRG @ LINK - NEW WORK





EXISTING TO REMAIN
NEW WORK

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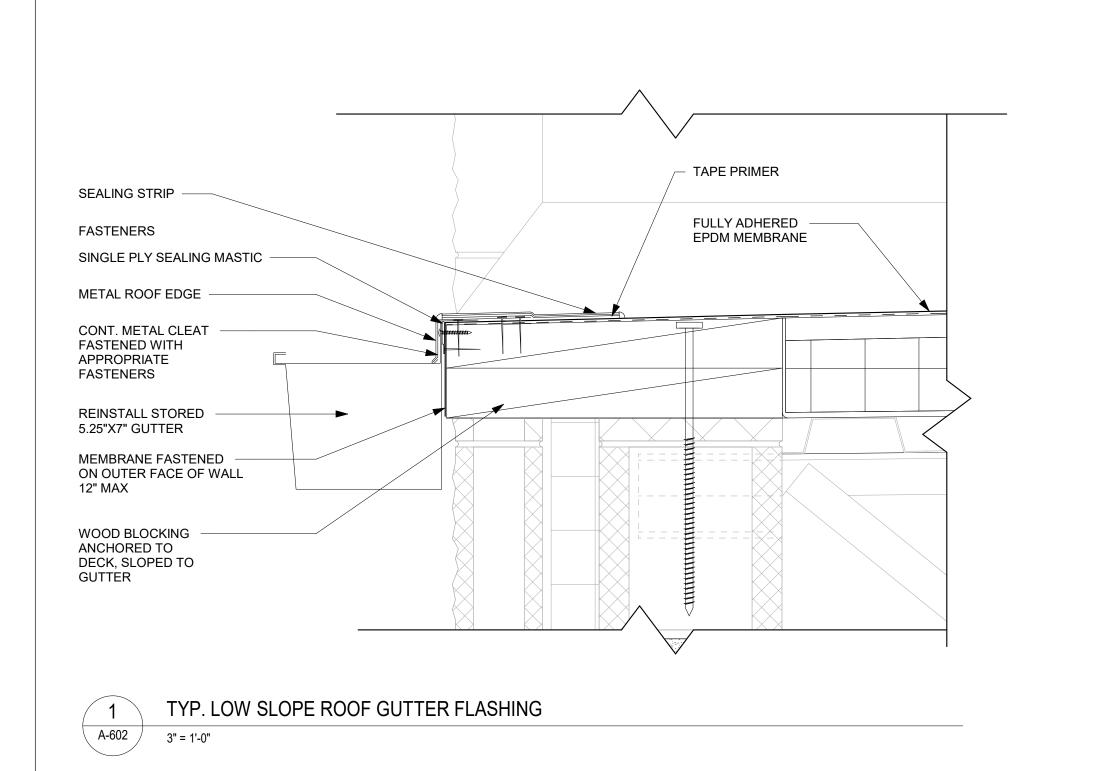
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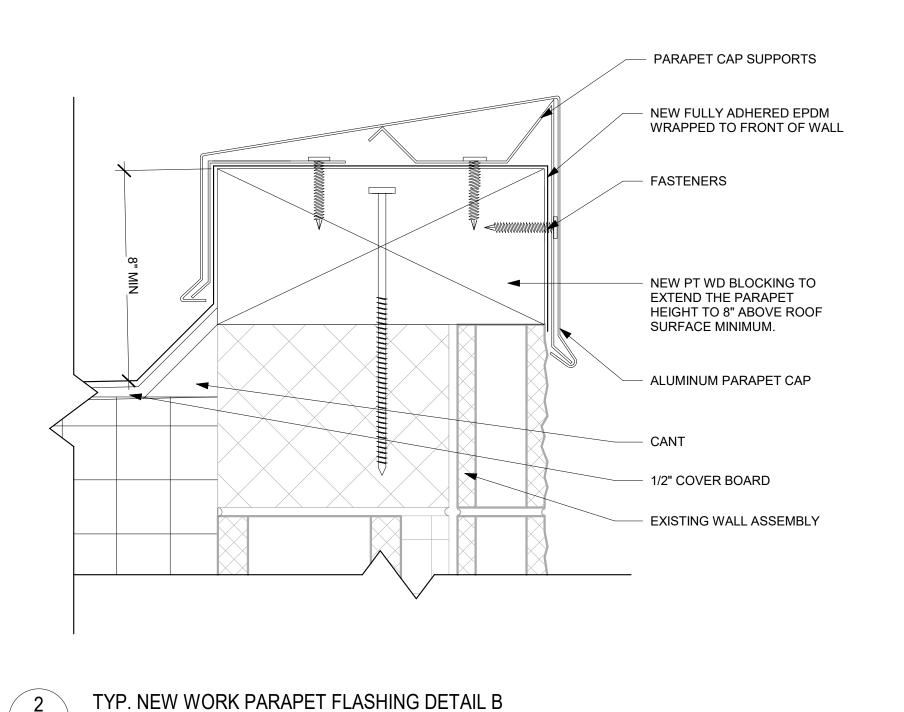
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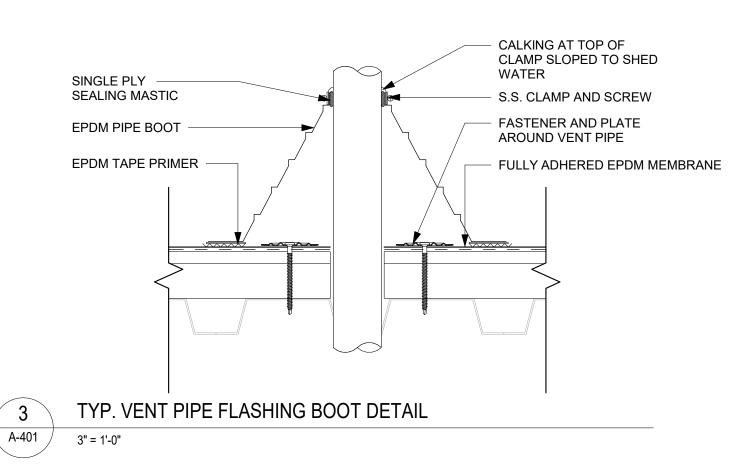
NEW WORK BUILDING SECTIONS AND DETAILS 3 OF 3

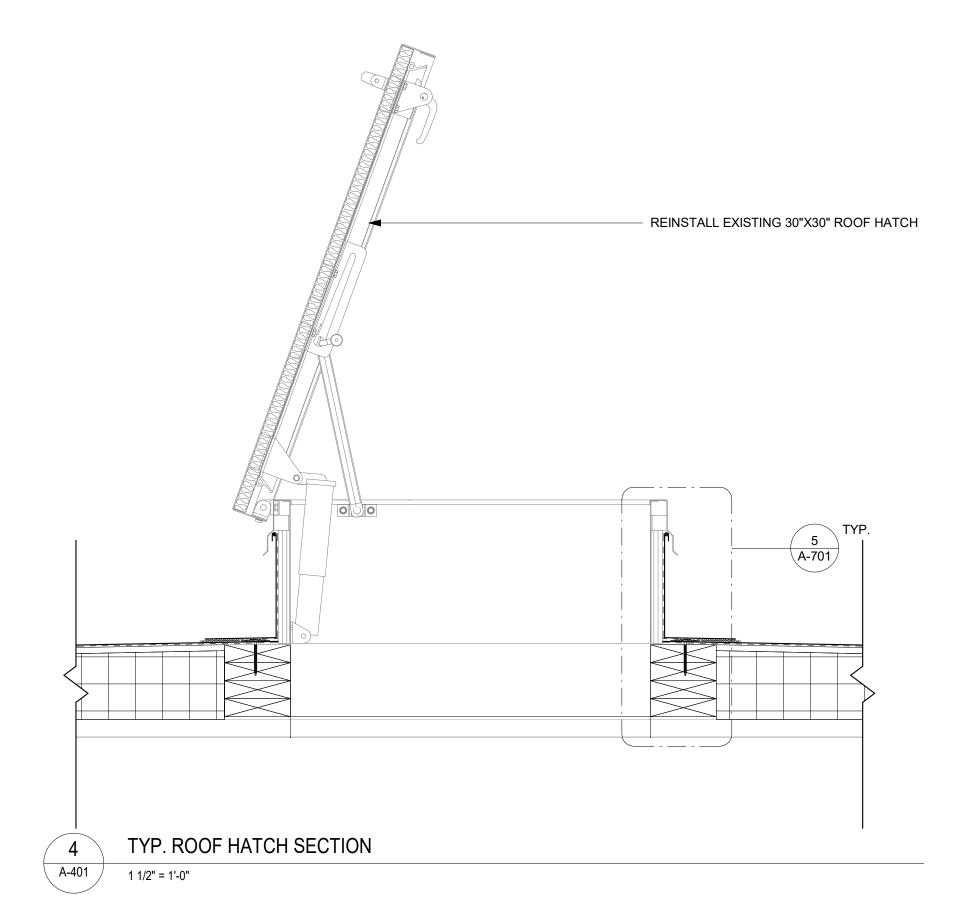
AS NOTED

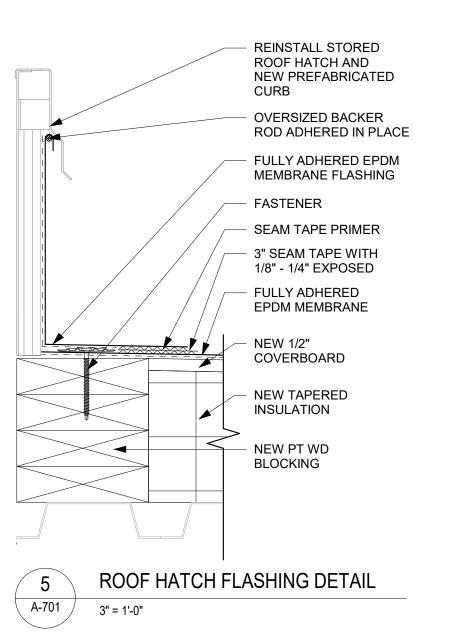
A-603 5060 8/14/2024





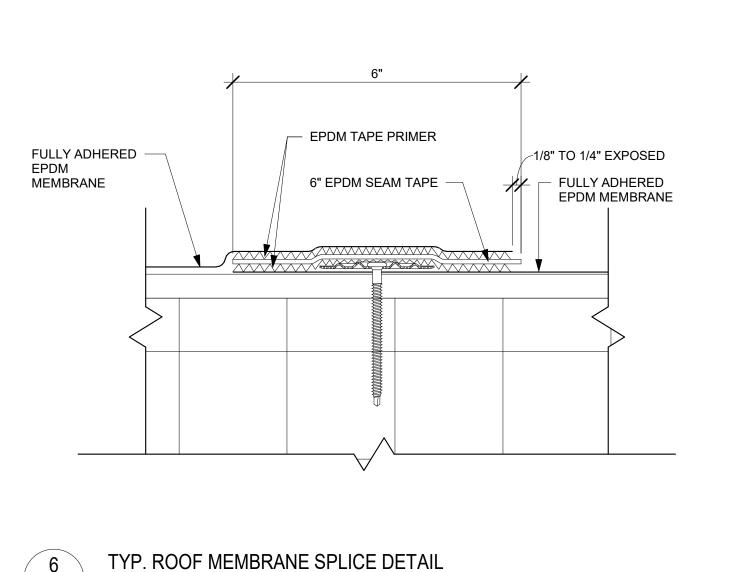




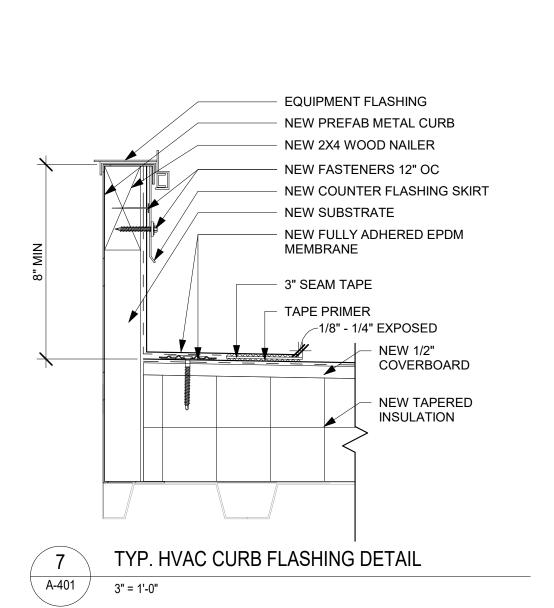


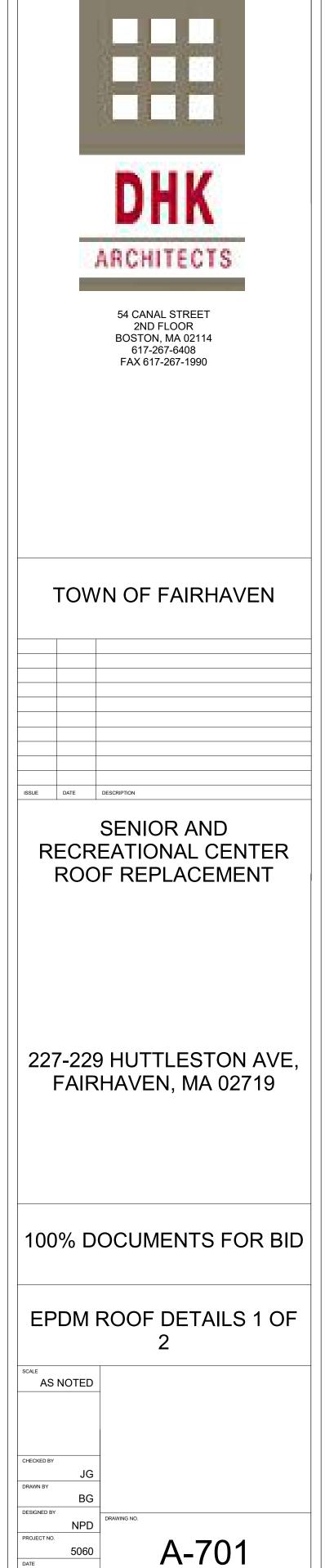
A-602

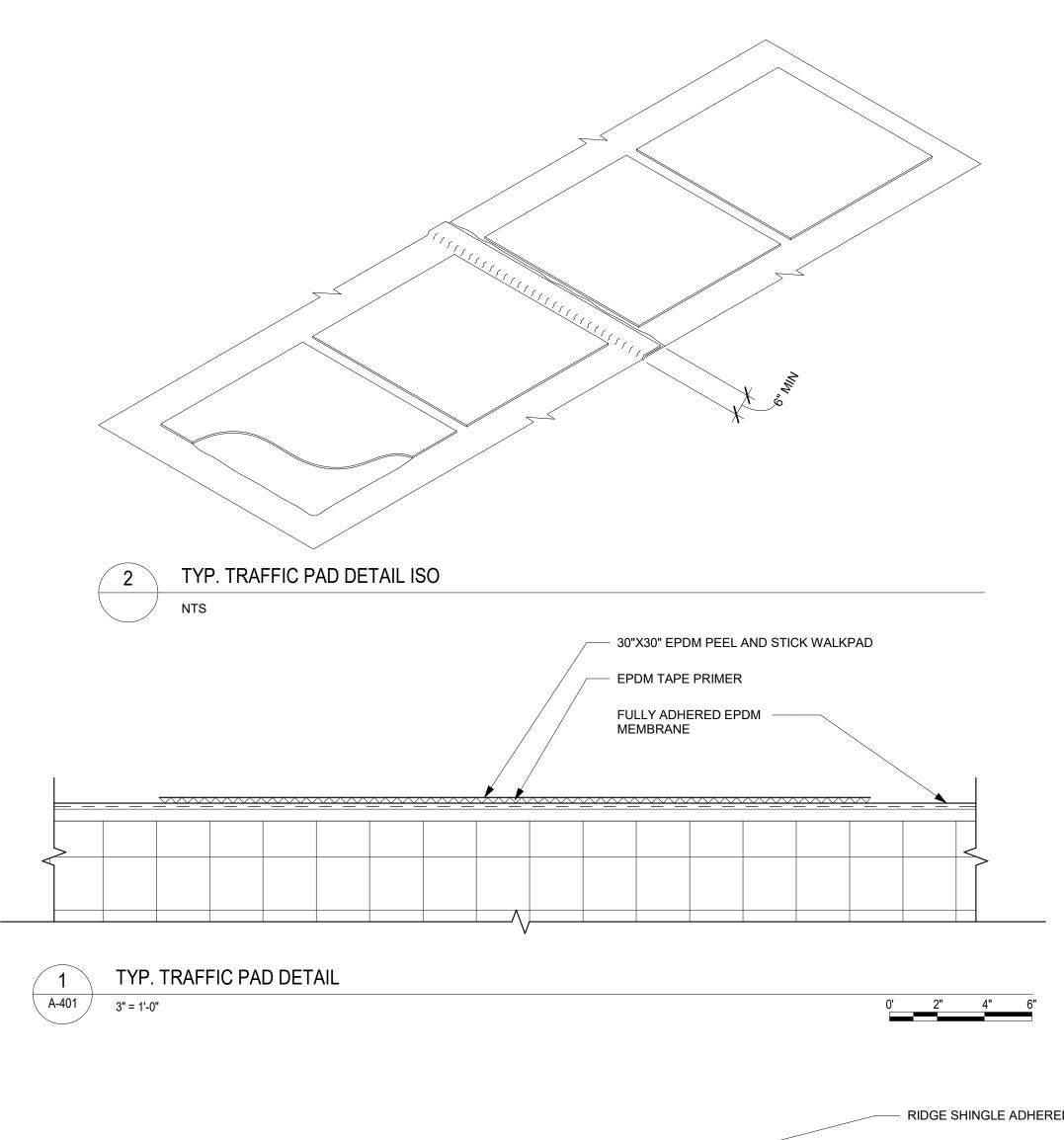
3" = 1'-0"

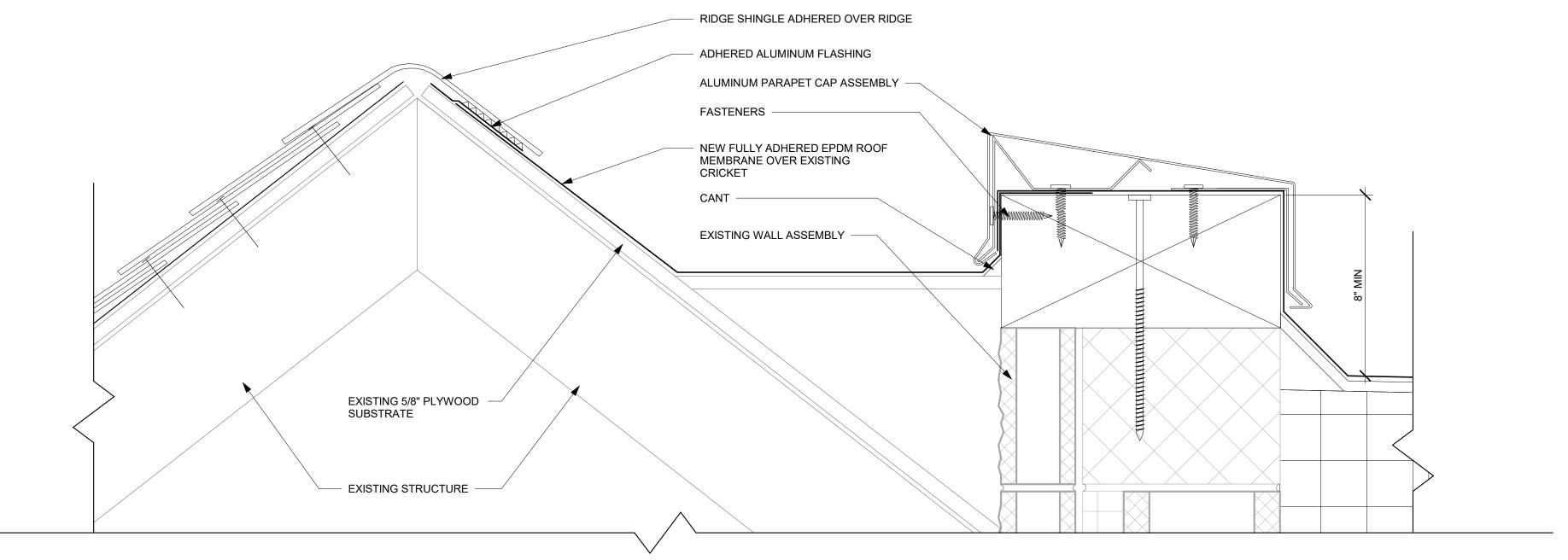


6" = 1'-0"









3 EPDM - ASPHALT ROOF CONDITION
0' 2" 4"



-	TOV	/N OF FAIRHAVEN
ISSUE	DATE	DESCRIPTION

SENIOR AND RECREATIONAL CENTER ROOF REPLACEMENT

227-229 HUTTLESTON AVE, FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

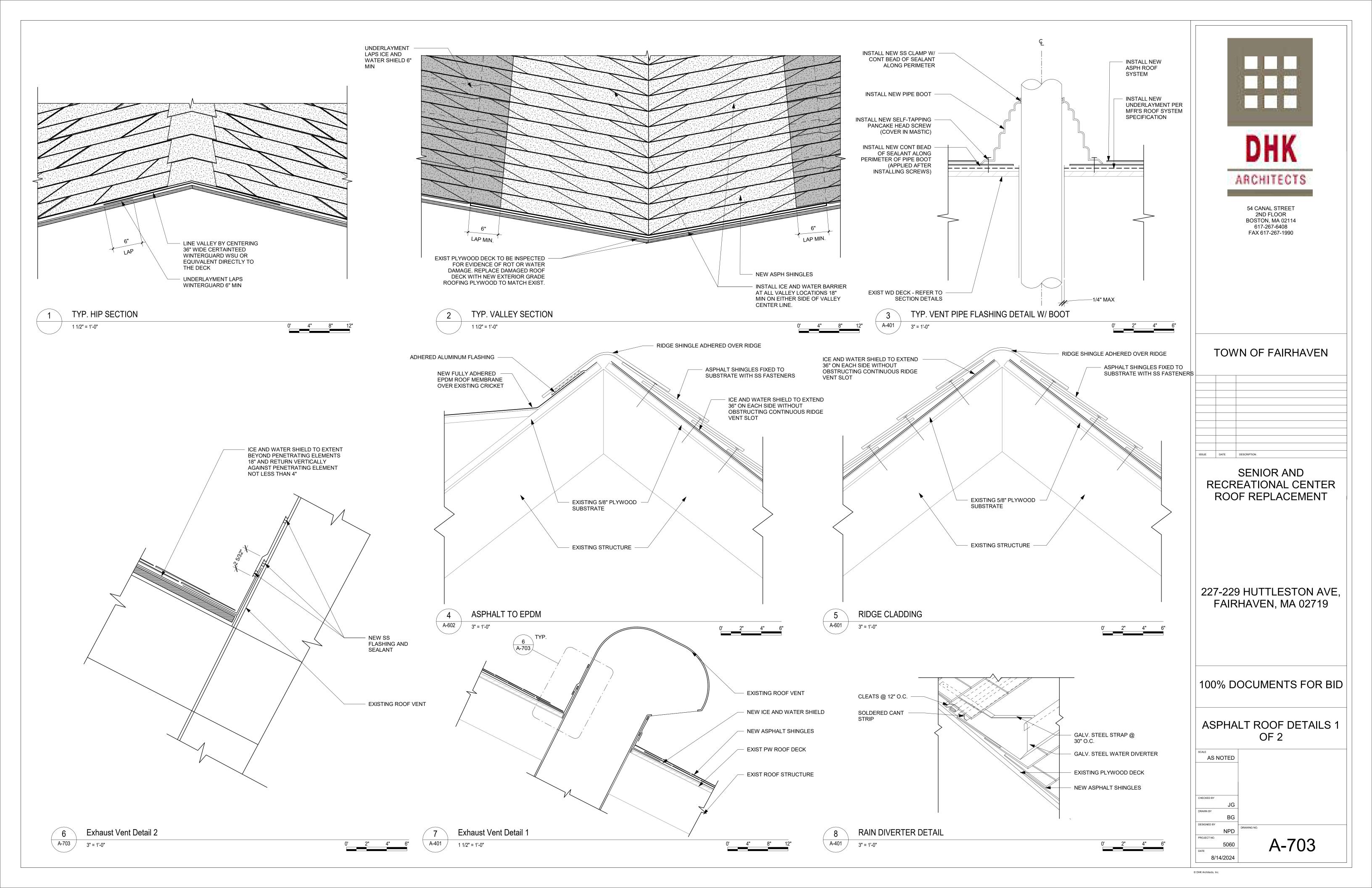
EPDM ROOF DETAILS 2 OF 2

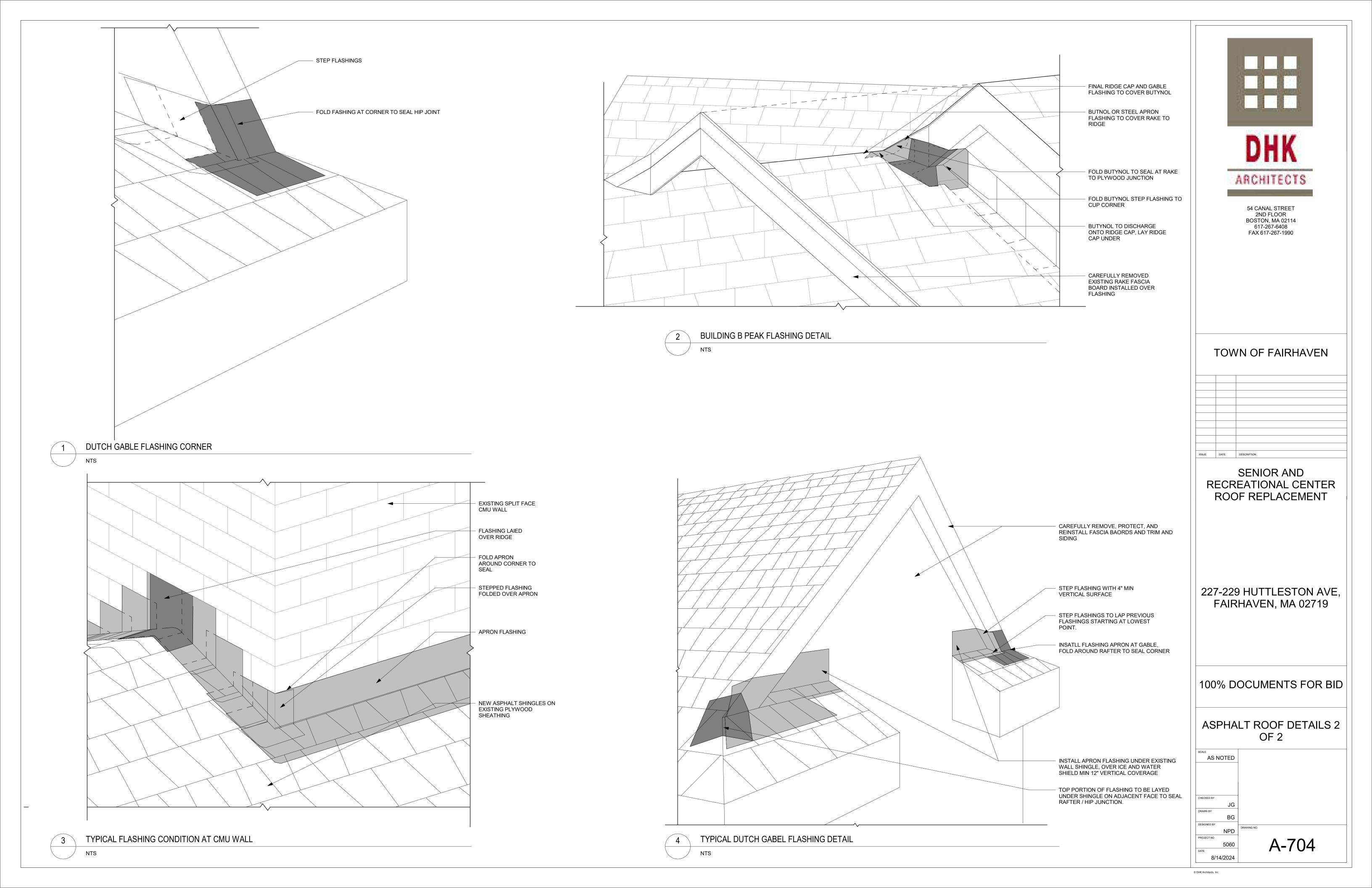
70 1	OILD	
CHECKED BY		
	JG	
	JG	
DRAWN BY		
	DC	
	BG	
DESIGNED BY		
DEGIGINED DI		DRAWING NO.
	NPD	
DDG IEGELIG		1

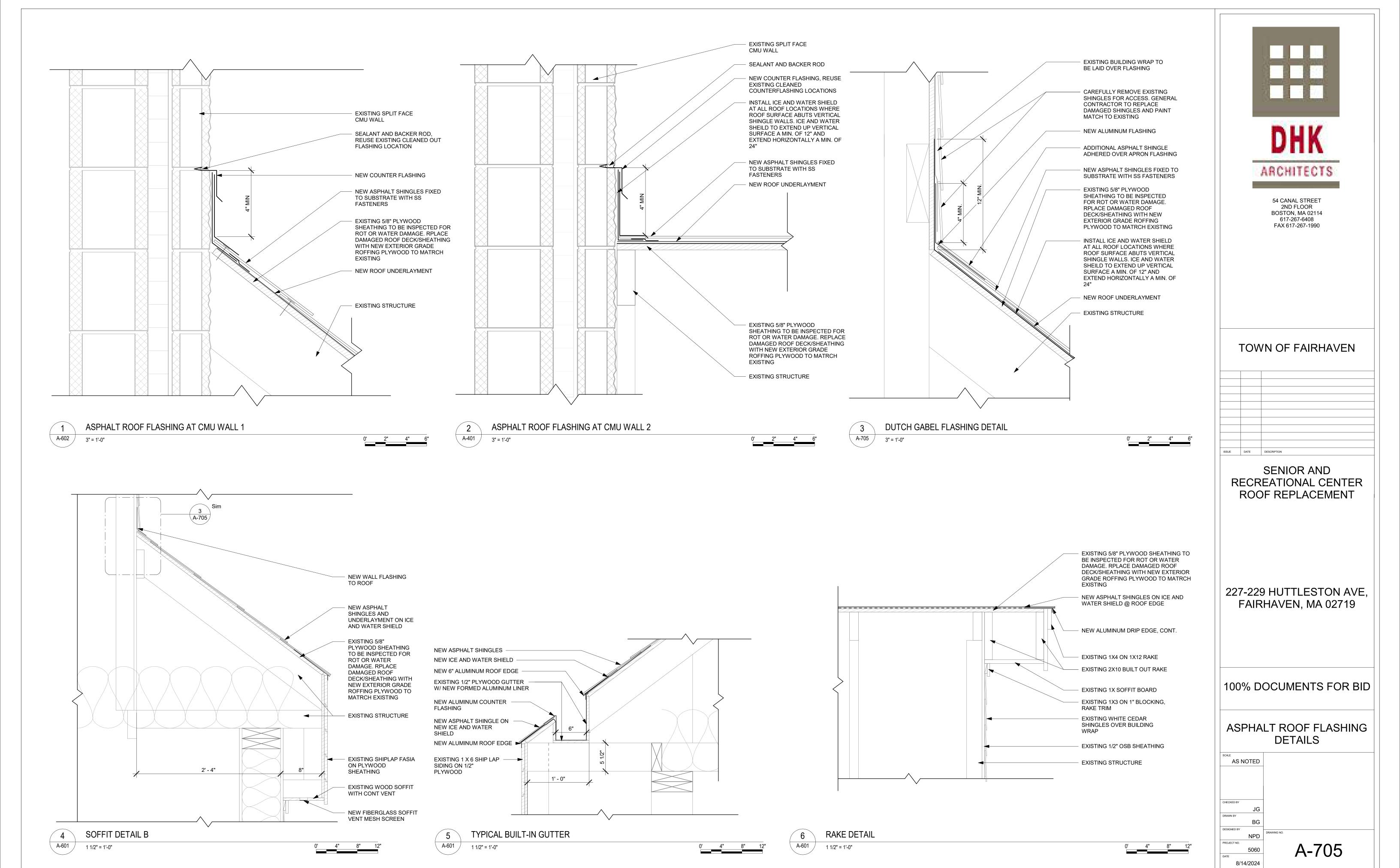
8/14/2024

A-702

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