

TOWN OF FAIRHAVEN

SENIOR AND RECREATIONAL CENTER ROOF REPLACEMENT

227-229 HUTTLESTON AVE,
FAIRHAVEN, MA 02719

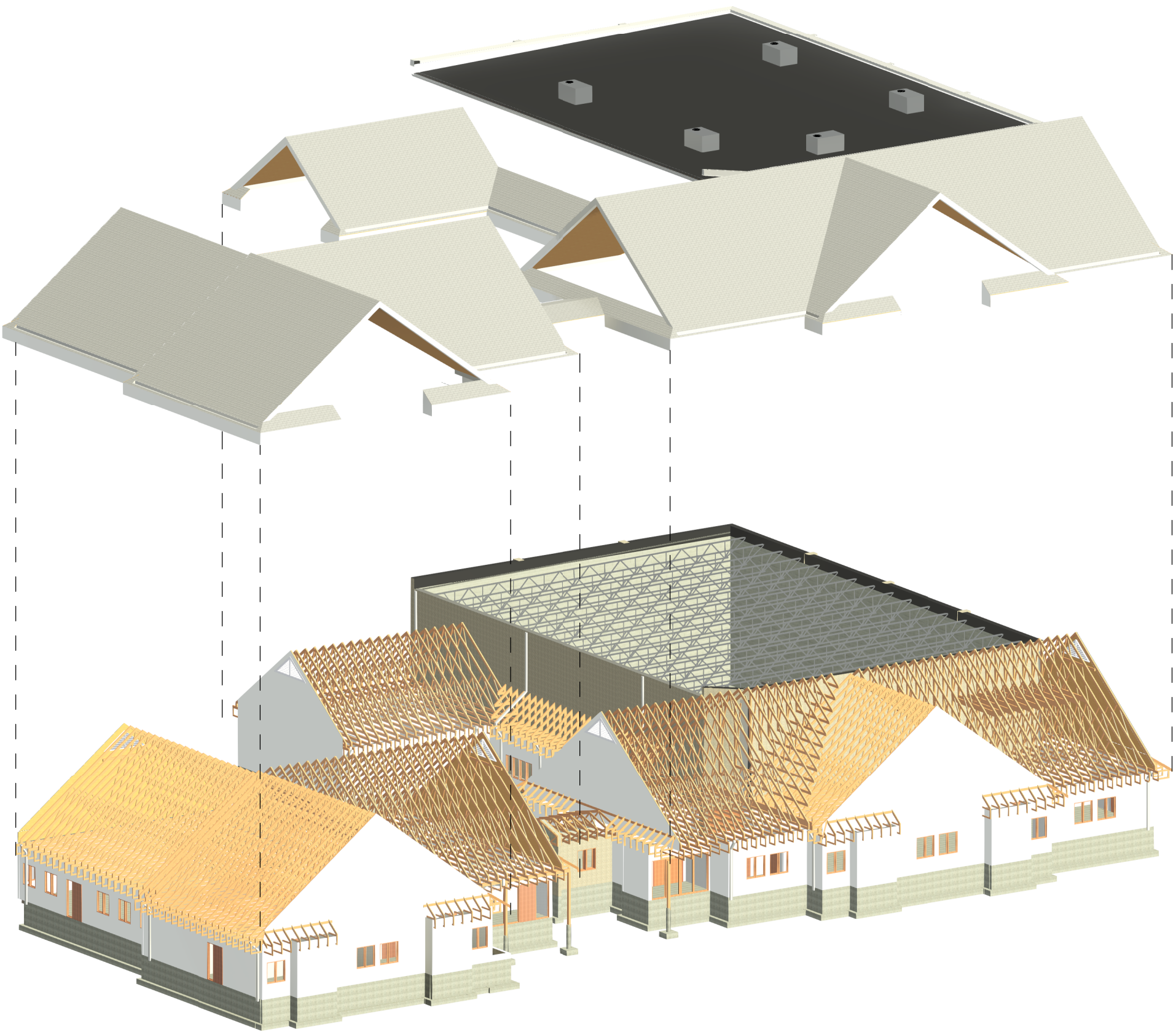
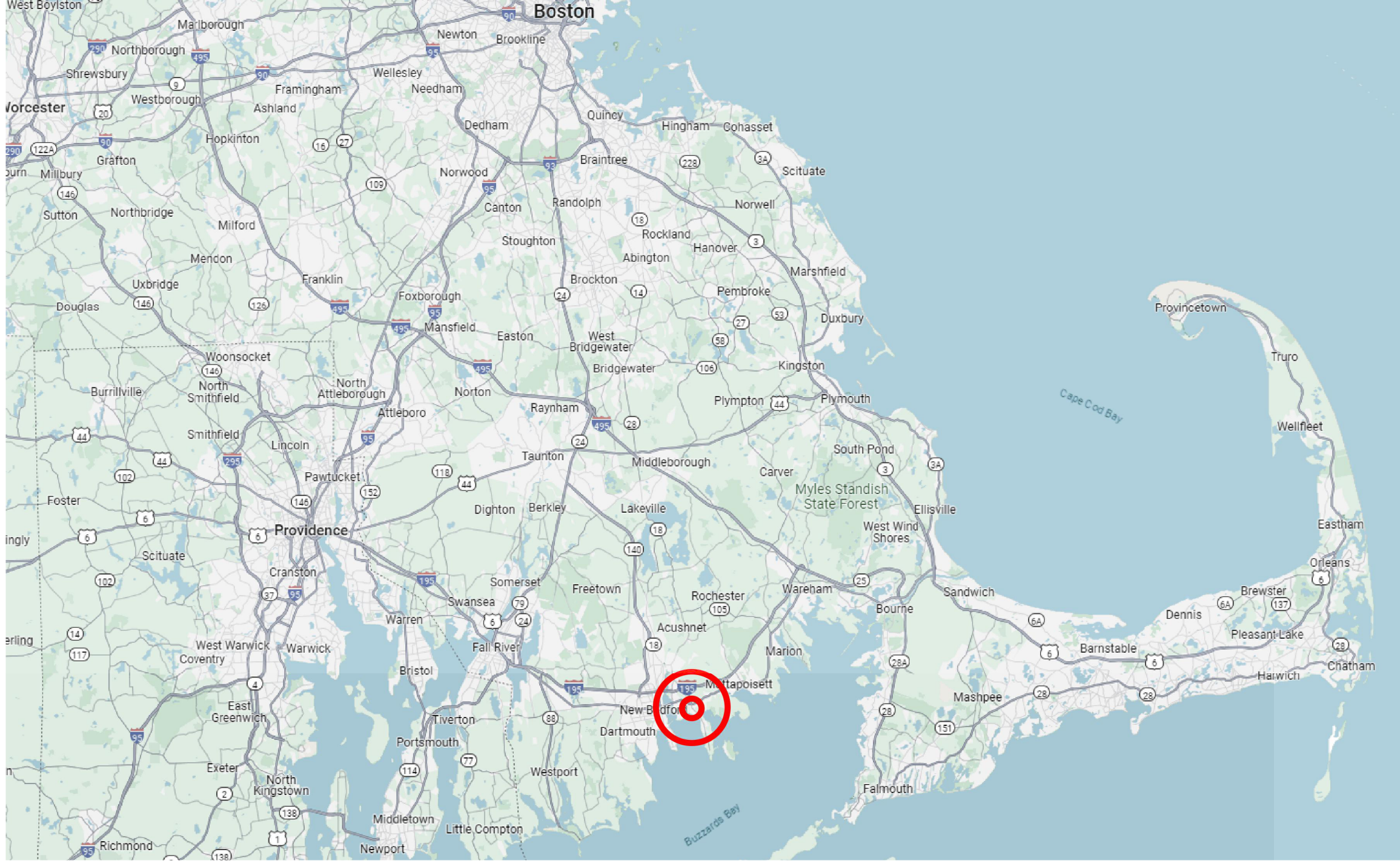
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100% DOCUMENTS FOR BID



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LOCUS MAP



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GENERAL ARCHITECTURAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL MUNICIPAL, STATE, NATIONAL AND OTHER CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT INCLUDING THE FEDERAL "AMERICANS WITH DISABILITIES ACT" (ADA).
3. ALL WORK SHALL BE OF HIGH QUALITY, PERFORMED IN A NEAT WORKMANLIKE MANNER, EXECUTED IN ACCORDANCE WITH THE BEST ACCEPTED TRADE PRACTICES AND AS PER MANUFACTURER'S RECOMMENDATIONS AND WARRANTY REQUIREMENTS.
4. ALL INDICATED ELEMENTS ARE "NEW" UNLESS OTHERWISE INDICATED BY SUCH TERMINOLOGY AS "EXISTING", "TEMPORARY", "ABANDONED", "REFURBISHED", ETC.
5. ALL MATERIALS AND WORK REQUIRED SHALL BE NEW UNLESS OTHERWISE NOTED.
6. ALL FIRE-RATED DOORS AND PENETRATIONS THROUGH FLOOR, WALL AND/OR CEILINGS SHALL COMPLY WITH APPLICABLE CODE REQUIREMENTS OF (TEMPERATURE) T-RATINGS AND UL-LISTED THROUGH PENETRATION FIRE STOP SYSTEM ASSEMBLIES TO THE APPROVAL OF THE AHJ.
7. ALL FIRE-RATED PARTITIONS/WALLS SHALL EXTEND TO THE UNDERSIDE OF THE STRUCTURAL FLOOR, BEAM OR ROOF SLAB – UNLESS NOTED OTHERWISE; AND SHALL BE FIRE-STOPPED TO SAME HOURLY RATING. ALL PENETRATIONS SHALL BE SEALED AND PROTECTED IN ORDER TO MAINTAIN THE INTEGRITY OF THE FIRE-RATED PARTITIONS/WALLS. SEE SPECIFICATIONS.
8. THE WORDS "REMOVE", "REMOVAL", "DISCARD", "DISPOSE OF" SHALL INCLUDE THE COMPLETE REMOVAL AND LEGAL DISPOSAL OF THE INDICATED MATERIAL OR EQUIPMENT OFF THE SITE BY CONTRACTOR, EXCEPT WHERE SUCH MATERIAL OR EQUIPMENT IS INDICATED OR DIRECTED BY OWNER TO BE SALVAGED OR STORED FOR RE-INSTALLATION. ALL REQUIRED STORAGE SHALL BE AT CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ITEMS TO REMAIN. ALL WORK FROM HAND-OVER OR PRECEDING CONTRACTS, OWNER FURNISHED EQUIPMENT AND FIXTURES; AND REPAIR OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF THE WORK TO THE SATISFACTION AND APPROVAL OF THE OWNER.
10. ANY DAMAGE TO INSTALLED FINISHES OR EQUIPMENT CAUSED BY THE WORK OF THE CONTRACTOR SHALL BE REPLACED AND REINSTALLED BY THE CONTRACTOR TO THE SATISFACTION AND APPROVAL OF OWNER.
11. THE CONTRACTOR SHALL PATCH ALL AREAS AFFECTED OR EXPOSED BY REMOVALS WORK TO MATCH EXISTING AND/OR ADJACENT SURFACES TO THE APPROVAL OF OWNER. PATCHING OF ALL AREAS AFFECTED SHALL ALSO MAINTAIN THE ASSEMBLY AND/OR SYSTEM INTEGRITY AND PERFORMANCE OF THE ORIGINAL CONSTRUCTION.
12. ALL MATERIALS AND EQUIPMENT THAT ARE SCHEDULED FOR DEMOLITION SHALL BE REMOVED FROM SITE AND DISPOSED OF PER SPECIFICATIONS. CONFORM TO LOCAL AND STATE REQUIREMENTS FOR REMOVAL AND DISPOSAL OF CONSTRUCTION MATERIAL. CONTRACTOR TO COORDINATE POTENTIAL FOR SALVAGING DEMOLITION MATERIAL WITH DESIGNER AND OWNER.
13. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS, INCLUDING INSTALLED WORK AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY DESIGNER WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS.
14. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES AS INTENDED BY THE CONTRACT DOCUMENTS AND TO THE SATISFACTION OF THE AUTHORITY AND DESIGNER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK AMONG THE VARIOUS TRADES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS AND JOB CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO SUBMITTING SURVEY FILES, SHOP DRAWINGS AND PLACING ORDERS DURING THE COURSE OF THE CONTRACT.
16. DO NOT SCALE DRAWINGS. FOLLOW WRITTEN DIMENSIONS ONLY FOR CONSTRUCTION.
17. CONTRACTOR SHALL COORDINATE WITH ALL DRAWINGS FOR THE EXTENT AND LOCATION OF ALL OPENINGS, ARCHITECTURAL FINISHES, SLEEVES, CHASES, WALL AND FLOOR SLAB PENETRATIONS, ETC. ALL PIPES AND CONDUITS PASSING THROUGH MASONRY AND/OR CONCRETE PARTITIONS/STRUCTURES SHALL BE SLEEVED.
18. CONTRACTOR SHALL EXAMINE CONTRACT DRAWINGS TO VERIFY AND COORDINATE THE LOCATION OF FIXTURES, EQUIPMENT, DUCTWORK, CONDUITS, PULL-BOXES, PENCIL BOXES, ROUGHOUTS, ROUGH OPENINGS, ACCESS PANELS AND BOXES, BUILT-INS, OWNER-FURNISHED EQUIPMENT CONTRACTOR INSTALLED (OFIC) FIXTURES AND OTHER RELATED WORK FOR THE CONSTRUCTION OF THE PROJECT.
19. WHERE THE PROGRESS OF THE WORK INTERFERES WITH A MEANS OF EGRESS FROM AN EXISTING BUILDING OR STRUCTURE, THE CONTRACTOR SHALL PROVIDE A TEMPORARY MEANS OF EGRESS SUBJECT TO THE APPROVAL OF THE AUTHORITIES HAVING JURISDICTION (AHJ) AND (BUILDING) OWNER AT NO COST TO THE OWNER.
20. PRIOR TO INSTALLATION OF ANY ELEMENT OF THE WORK, THE CONTRACTOR SHALL SUBMIT ALL APPROVED SHOP DRAWINGS, COORDINATION SHOP DRAWINGS, TESTING & COMMISSIONING REPORTS, MOCK-UPS, COLORS AND FINISHES TO DESIGNER FOR APPROVAL OF THE ELEMENTS.
21. THE CONTRACTOR SHALL SUBMIT COORDINATED DRAWINGS OF TEMPORARY PARTITIONS AND BARRICADES WITH LOCATIONS AND DETAILS FOR THE REVIEW AND APPROVAL BY DESIGNER.
22. THE CONTRACTOR SHALL PROVIDE ALL MOCK-UPS REQUIRED IN A TIMELY MANNER AND IN LOCATION(S) AS DIRECTED BY DESIGNER. APPROVED MOCK-UPS CAN BE INCORPORATED INTO THE WORK BY APPROVAL OF DESIGNER.
23. ALL STEEL ITEMS EXPOSED TO THE ELEMENTS SHALL BE HOT DIPPED GALVANIZED UNLESS NOTED OTHERWISE.
24. ALL EMBEDMENTS AND DRILLED-IN-PLACE ANCHORS SHALL BE TYPE 304 STAINLESS STEEL – UNLESS NOTED OTHERWISE.
25. PROVIDE ALL BLOCKING, SEPARATION AND ANCHORAGE AS REQUIRED FOR CODE-COMPLIANT WORK.
26. ALL PROPOSED WOOD COMPONENTS THAT BECOME INSTALLED PARTS OF THE WORK (INCLUDING BUT NOT LIMITED TO SHEATHING, TRIM AND BLOCKING) SHALL BE FIRE-RATED.
27. ALL DISSIMILAR METALS IN CONTACT WITH EACH OTHER SHALL BE ISOLATED IN A MANNER AS REQUIRED BY APPLICABLE CODE AND AS APPROVED BY DESIGNER.
28. WHERE DISSIMILAR METALS ARE JOINED, METAL SURFACES SHALL BE ADEQUATELY SEPARATED TO PREVENT GALVANIC ACTION AND CORROSION.
29. THE CONTRACTOR SHALL PAINT ALL SURFACES, INCLUDING BUT NOT LIMITED TO: EXPOSED WALLS (WITH NO FINISH ASSEMBLY), EXPOSED CEILINGS (WITH NO SUSPENDED ASSEMBLY), EXPOSED STRUCTURAL COLUMNS, PIPES, CONDUIT, AND MISCELLANEOUS METALS – UNLESS NOTED OTHERWISE IN THE FINISH SCHEDULE OR AS INDICATED ON THE CONTRACT DRAWINGS.
30. MANUFACTURER'S NAME PLATES INCLUDING TRADEMARK AND OTHER IDENTIFICATION SYMBOLS SHALL NOT BE PERMITTED IN SURFACES VISIBLE TO THE PUBLIC - UNLESS NOTED OTHERWISE IN THE CONTRACT DRAWINGS.
31. SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS AND RODENTS.
32. ALL FLASHING DETAILS INCLUDING THICKNESS AND FASTENERS SHALL COMPLY WITH FM-GLOBAL 1-49.

35. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING OF ALL CONTROL POINTS AND BENCHMARKS FOR THE WORK.
36. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS, CONTRACT DOCUMENTS, AND OTHER DOCUMENTS APPROVED BY THE ARCHITECT AND ANY/ALL PERMITTING AUTHORITIES.
37. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO ALL STATE AND LOCAL REGULATIONS. POLICE DETAILS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
38. DURING CONSTRUCTION, ANY INTERPRETATION OF THE SPECIFICATIONS AND ANY MATTER WHICH REQUIRES APPROVAL BY THE OWNER MUST BE REVIEWED BY THE ARCHITECT BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES.
39. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED.
40. SUBSTITUTIONS OF PRODUCTS IN PLACE OF THOSE SPECIFIED WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM ARCHITECT.
41. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR STAGING, PARKING, AND OFFICE LOCATIONS.
42. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL CAREFULLY REMOVE AND STORE, IN A SECURE LOCATION TO THE SATISFACTION OF THE OWNER, ALL MOVEABLE EXTERIOR TRASH RECEPTACLES, SEATING BENCHES, PICNIC TABLES AND ANY OTHER REMOVABLE FURNITURE OR EQUIPMENT NEAR THE PERIMETER OF THE BUILDING UNTIL THE COMPLETION OF THE NEW ROOF CONSTRUCTION. THE CONTRACTOR SHALL MOVE ALL FURNITURE BACK TO THEIR ORIGINAL LOCATIONS AFTER COMPLETION OF NEW ROOF CONSTRUCTION TO THE SATISFACTION OF THE OWNER.
43. THE CONTRACTOR SHALL MAINTAIN A SECURE SITE TO THE SATISFACTION OF THE OWNER.
44. GC TO REMOVE ALL ROOFTOP EQUIPMENT TO ENABLE THE ROOF REPLACEMENT WORK.
45. GC TO COORDINATE PHASING, SEQUENCING, AND SITE LOGISTICS WITH THE OWNER PRIOR TO COMMENCING WORK.
46. FALL PROTECTION SYSTEMS SHALL BE USED AS REQUIRED BY FEDERAL, STATE, AND LOCAL REGULATIONS REGARDING ROOFING WORK.
47. AT THE END OF EACH WORK PERIOD THE EXISTING NEW ROOF SYSTEM SHALL BE COMPLETELY SEALED FROM MOISTURE INTRUSION AND ABLE TO WITHSTAND A LOAD OF WATER/ EXISTING GUTTERS AND DOWNSPOUTS MUST REMAIN IN WORKING ORDER, OR ALTERNATE METHOD OF DRAINAGE PROVIDED.
48. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLAN HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
49. THE CONTRACTOR SHALL REPORT DETERIORATED OR UNSUITABLE STRUCTURAL DECK OR SUBSTRATES TO THE OWNER PRIOR TO PERFORMING ROOFING INSTALLATION WORK.
50. ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS. REMOVE ONLY AS MUCH ROOFING AS CAN BE REPLACED ON THE SAME DAY. PHASED CONSTRUCTION IS NOT PERMITTED.
51. FOR THE SAKE OF CLARITY NOT ALL FASTENERS ARE SHOWN IN DETAILS, REFER TO SPECIFICATIONS FOR FASTENER TYPES AND SPACING.
52. DETAILS NOT DEPICTED SHALL BE CONSTRUCTED IN A MANNER CONSISTENT WITH THE DETAIL DRAWINGS.
53. ROOF PLAN DIMENSIONS, CONFIGURATIONS, QUANTITIES, ETC. MAY NOT BE EXACT. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS, DIMENSIONS, AND QUANTITIES PRIOR TO SUBMITTING BID AND COMPENSATE FOR ANY DISCREPANCIES ON THE DRAWINGS.
54. THE MANUFACTURERS STANDARD DETAILS AND SPECIFICATIONS, WHEN APPROVED BY THE OWNER, SHALL BECOME THE BASIS FOR ACCEPTING OR REJECTING THE ACTUAL INSTALLATION OF THE ROOF SYSTEM, UPON COMPLETION OF THE WORK THE MANUFACTURER SHALL EXAMINE THE COMPLETED INSTALLATION FOR COMPLIANCE WITH ALL WARENTY REQUIREMENTS.
55. SELF ADHERING SHEET UNDERLAYMENT: INSTALL WRINKLE FREE ON ROOF DECK. COMPLY WITH LOW TEMPERATURE INSTALLATION RESTRICTIONS OF UNDERLAYMENT MANUFACTURER IF APPLICABLE. INSTALL AT LOCATIONS INDICATED ON PLANS ACCORDING TO ANY AND ALL NOTES PERTAINING TO ICE AND WATER SHEETS, LAPED IN DIRECTION TO SHED WATER. LAP SIDES NOT LESS THAN 3.5". LAP ENDS NOT LESS THAN 6" STAGGERED 24" BETWEEN COURSES. ROLL LAPS WITH ROLLER. COVER UNDERLAYMENT WITHIN SEVEN DAYS.
56. ICE AND WATER SHEETS TO BE LAYED:

A. EAVES: EXTEND FROM EDGE OF EAVES 36" BEYOND INTERIOR FACE OF EXTERIOR WALL.
B. RAKES: EXTEND FROM EDGES OF RAKE 36" BEYOND INTERIOR FACE OF EXTERIOR WALL.
C. VALLEYS: EXTEND FROM LOWEST TO HIGHEST POINT 18" ON EACH SIDE.
D. HIPS: EXTEND 18" ON EACH SIDE.
E. RIDGES: EXTEND 36" ON EACH SIDE WITHOUT OBSTRUCTING CONTINUOUS RIDGE VENT SLOT.
F. SIDEWALLS: EXTEND BEYOND SIDEWALL 18" AND RETURN VERTICALLY AGAINST SIDEWALL NOT LESS THAN 4"
G. DORMERS, CHIMNEYS, SKYLIGHTS, AND OTHER ROOF-PENETRATING ELEMENTS: EXTEND BEYOND PENETRATING ELEMENT 18" AND RETURN VERTICALLY AGAINST PENETRATING ELEMENT NOT LESS THAN 4"
H. ROOF SLOPE TRANSITIONS: EXTEND 18" ON EACH ROOF SLOPE

GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL ONLY REMOVE SO MUCH OF THE EXISTING ROOF THAT CAN BE RE-ROOFED IN ONE DAY. ALL BUILDING SYSTEMS, SUCH AS (BUT NOT LIMITED TO) HOT WATER AND VENTILATION SYSTEMS SHALL BE UP AND RUNNING BY THE END OF BUSINESS EACH DAY.
2. CONTRACTOR SHALL PROVIDE OVERHEAD PEDESTRIAN PROTECTION AT ALL PUBLIC AND EMPLOYEE ENTRANCES ALONG WITH THE PATH OF TRAVEL FROM THE BUILDINGS DOORS TO THE EXTERIOR CIRCULATION OF NO LESS THAN 32'-0" UNLESS THE VEHICLE TRAVEL LANES ARE LESS THAN 32'-0" FOR THE DURATION OF DEMOLITION AND CONSTRUCTION.
3. THE EXISTING ROOF ASSEMBLY SHALL BE REMOVED TO EXPOSE THE EXISTING PLYWOOD OR METAL DECKING. CLEAN ALL MATERIAL FROM DECKING.
4. DISPOSAL OF ALL DEMOLISHED MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND TOWN REQUIREMENTS.
5. REMOVE EDGE FLASHING IN SCOPE AREA.
6. REMOVE WOOD BLOCKING AT CANTS IN SCOPE AREA.
7. REMOVE FLASHING AT ROOF PENETRATIONS INCLUDING (BUT NOT LIMITED TO) VENT STACKS, HOT STACKS, PIPING, CONDUIT, AND PITCH POCKETS IN SCOPE AREA.
8. DISCONNECT, REMOVE, AND STORE ALL EXISTING ROOFTOP EQUIPMENT AND ASSOCIATED MECHANICAL/ELECTRICAL EQUIPMENT UNLESS OTHERWISE STATED.
9. INVENTORY AND RECORD THE CONDITION OF ITEMS TO BE REMOVED AND SALVAGES.
10. PROTECT ADJACENT WALKWAYS, LOADING DOCKS, BUILDING ENTRIES, AND OTHER BUILDING FACILITIES DURING DEMOLITION OPERATIONS. MAINTAIN EXITS FROM EXISTING BUILDINGS
11. MAINTAIN UTILITY SERVICES TO EXISTING BUILDINGS AND PROTECT FROM DAMAGE DURING DEMOLITION OPERATIONS.
12. DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT FACILITIES/BUILDINGS UNLESS AUTHORIZED IN WRITING BY THE OWNER.
13. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES , AS ACCEPTABLE TO THE OWNER.
14. PROVIDE AT LEAST 72 HOURS NOTICE TO OCCUPANTS OF THE BUILDING IF SHUTDOWN OF SERVICE IS REQUIRES DURING CHANGEOVER.
15. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGEWAYS, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION AND AS INDICATED.
16. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
17. PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
18. PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND BUILDING DEMOLITION AREA AND TO AND FROM OCCUPIED PORTIONS OF ADJACENT BUILDINGS AND STRUCTURES.
19. PROTECT WALLS, WINDOWS, ROOFS, AND OTHER ADJACENT EXTERIOR CONSTRUCTION THAT ARE TO REMAIN AND THAT ARE EXPOSED TO BUILDING DEMOLITION OPERATIONS.
20. REMOVE TEMPORARY BARRIERS AND PROTECTIONS WHERE HAZARDS NO LONGER EXIST. WHERE HAZARDOUS CONDITIONS REMAIN, LEAVE TEMPORARY BARRIERS AND PROTECTION IN PLACE.
21. LOCATE BUILDING DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
22. REMOVE DEBRIS FROM ELEVATED PORTIONS OF THE BUILDING BY CHUTE, HOIST, OR OTHER DEVICES THAT WILL CONVEY DEBRIS TO GRADE IN A CONTROLLED DESCENT
23. PROMPTLY REPAIR DAMAGE TO ADJACENT BUILDINGS, UTILITIES, FENCES, OR OTHER STRUCTURES CAUSED BY DEMOLITION OPERATIONS.
24. REMOVE DEMOLITION WASTE MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA APPROVED LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
25. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
26. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
27. DO NOT BURN DEMOLISHED MATERIALS.
28. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS.
29. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE BUILDING DEMOLITION OPERATIONS BEGAN.
30. REMOVE AND STORE EXISTING LIGHTNING PROTECTION SYSTEM FOR REINSTALLATION.
31. REMOVE, STORE, AND PROTECT ALL EXISTING INTERNET CABLE, ANTENNA CABLE, OTHER SERVICE CABLE AND DEVICES FOR REUSE.
32. CONTRACTOR TO COORDINATE WITH APPROPRIATE VENDORS FOR ALL REMOVALS & REATTACHMENTS.



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ROOF REPLACEMENT

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100% DOCUMENTS FOR BID

GENERAL ARCHITECTURAL
NOTES

SCALE:

AS NOTED

CHECKED BY:

JG

DRAWN BY:

BG

DESIGNED BY:

NPD

PROJECT NO:

5060

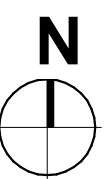
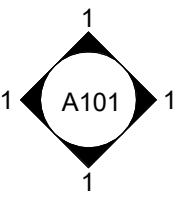
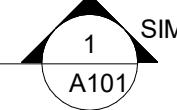

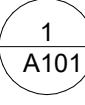



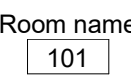











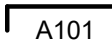
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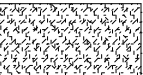



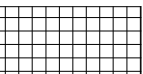
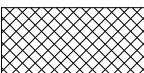
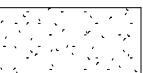
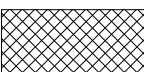

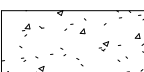

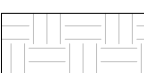
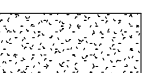




DRAWING NO:

A-001

SYMBOLS LEGEND

	NORTH ARROW
	ELEVATION SYMBOL
	SECTION MARKER
	COLUMN GRID LINE
	DETAIL MARKER
	CENTER LINE
	TOILET ACCESSORY TAG
	DOOR TAG
	ROOM IDENTIFICATION
	WALL TAG
	WINDOW TAG
	HANDICAP
	EXIT SIGN (ARROW REPRESENT DIRECTIONAL SIGN)
	SIGN NUMBER
	DEMOLITION NOTE
	NEW WORK NOTE
	SMOKE DETECTOR
	REVISION TAG
	FIRE EXTINGUISHER
	DATUM LEVEL
	WINDOW SECTION CUT

MATERIALS LEGEND

	ALUMINUM		GWB
	BATT INSULATION		PARTICLE BOARD
	BRICK		PLYWOOD
	CERAMIC TILE		RIGID INSULATION
	CMU		SAND, CEMENT, GROUT
	COMPRESSIBLE FILLER		SHINGLE
	CONCRETE		SMOKE SEALANT
	EARTH		SPRAYED FIREPROOFING
	GRATE		STEEL
	GRAVEL		WOOD

CODE REVIEW

GENERAL
THIS SHEET HAS BEEN PREPARED TO SUMMARIZE THE PROJECTS APPROACH FOR COMPLIANCE WITH 780 CMR MASSACHUSETTS STATE BUILDING CODE (9TH EDITION) (MSBC)

PROJECT SUMMARY:
THE SCOPE OF WORK FOR THIS PROJECT INCLUDES THE CONSTRUCTION OF A NEW ROOFING ASSEMBLY ON THE EXISTING ROOF DECK ON THE TOWN OF FAIRHAVEN SENIOR CENTER AND RECREATIONAL CENTER LOCATED AT 227-229 HUTTLESTON AVE, FAIRHAVEN, MA

THERE WILL BE ARCHITECTURAL UPGRADES INCLUDING, BUT NOT LIMITED TO, ARCHITECTURAL ELEMENTS ASSOCIATED WITH THE ROOF ASSEMBLY DOWN TO EXISTING DECK, NEW COVER BOARD FOR ROOF ASSEMBLY, NEW VAPOR BARRIER, ADDITIONAL INSULATION TO MEET ENERGY CODE VALUE OF R-30, CODE COMPLIANT TAPERED INSULATION, AND ASSOCIATED ADHESIVES AND MECHANICAL ATTACHMENTS/FASTENERS.

STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING SERVICES WILL NOT BE PROVIDED.

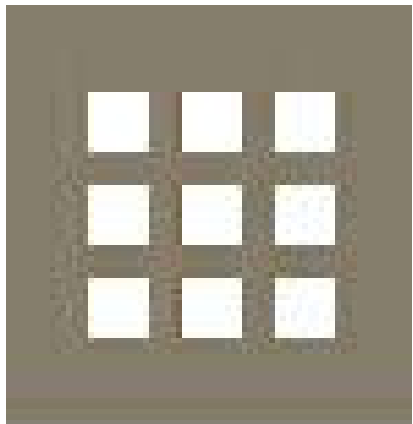
OCCUPANCY CLASSIFICATION:

FAIRHAVEN COUNCIL ON AGING:
OCCUPANCY TYPE A-3, OCCUPANCY A-3 INCLUDES ASSEMBLY USES INTENDED FOR WORSHIP, RECREATION, OR AMUSEMENT AND OTHER ASSEMBLIES NOT CLASSIFIED ELSEWHERE IN GROUP A OCCUPANCIES. THE BUILDING IS OF TYPE IIB CONSTRUCTION WITH NON COMBUSTIBLE EXTERIOR WALLS AND WOODEN ROOF TRUSSES AND DECK THAT ARE ALLOWED BY IBC SECTION 603.1.1 "COMBUSTIBLE MATERIALS IN TYPES I AND II CONSTRUCTION"

FAIRHAVEN RECREATIONAL DEPARTMENT:
OCCUPANCY TYPE A-3, OCCUPANCY A-3 INCLUDES ASSEMBLY USES INTENDED FOR WORSHIP, RECREATION, OR AMUSEMENT AND OTHER ASSEMBLIES NOT CLASSIFIED ELSEWHERE IN GROUP A OCCUPANCIES. THE BUILDING IS OF TYPE IIB CONSTRUCTION WITH NON COMBUSTIBLE EXTERIOR WALLS AND WOODEN ROOF TRUSSES AND DECK THAT ARE ALLOWED BY IBC SECTION 603.1.1 "COMBUSTIBLE MATERIALS IN TYPES I AND II CONSTRUCTION"

APPLICABLE CODES:

780 CMR - MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION (MSBC), WHICH ADOPTS AND AMENDS THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL EXISTING BUILDING CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE (ICC) AS AMENDED BY STRETCH CODE 225 CMR 23.00



DHK
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617-267-6408
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TOWN OF FAIRHAVEN

SENIOR AND
RECREATIONAL CENTER
ROOF REPLACEMENT

227-229 HUTTLESTON AVE,
FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

ARCHITECTURAL LEGEND
AND SYMBOLS

SCALE: AS NOTED	
CHECKED BY: JG	
DRAWN BY: BG	
DESIGNED BY: NPD	
PROJECT NO: 5060	
DATE: 8/14/2024	DRAWING NO: A-002

ABBREVIATIONS

&

@

A/E

AB

ABAN

A/C

ACS DR

ACS PNL

ACST

ACT

AD

ADA

ADDL

ADDM

ADH

ADJ

ADJC

AFF

AGGR

AHJ

AHU

ALM

ALT

ALUM

ANN

ANOD

APPD

APPROX

AR

ARCH

ASPH

ASSY

AUTO

AUX

AVG

AWT

BC

BD

BEN

BOTH

BFP

BITUM

BL

BLDG

BLKT

BLKG

BLT

BLOW

BM

BO

BOH

BOS

BOT

B PL

BP

BR

BRZ

BS

BTWN

BUR

C

CAA

CAB

CCTV

CCW

CEM

CER

CF/CI

CFE

CFM

CF/OI

CFS

CG

CHB

CHFR

CHK

CHR

CI

CIR

CJ

CKT

CKT BRKR

CL

CLG

CLG HT

CLO

CLR

CMPTST

CMU

CNTR

CO

COL

AND

ARCHITECT / ENGINEER

ANCHOR BOLT

ABANDON

AIR CONDITIONING

ACCESS

ACCESS PANEL

ACOUSTIC

ACOUSTICAL CEILING TILE

AREA DRAIN

AMERICANS WITH DISABILITIES ACT

ADDITIONAL

ADDENDUM

ADHESIVE

ADJUSTABLE

ADJACENT

ABOVE FINISHED FLOOR

AGGREGATE

AUTHORITY HAVING JURISDICTION

AIR HANDLING UNIT

ALARM

ALTERNATE

ALUMINUM

ANNUNCIATOR

ANODIZED

APPROVED

APPROXIMATE

AS REQUIRED

ARCHITECT, ARCHITECTURAL

ASPHALT

ASSEMBLY

AMERICAN SOCIETY FOR TESTING MATERIALS

AUTOMATIC

AUXILIARY

AVERAGE

ACOUSTICAL WALL TREATMENT

BOLT CIRCLE, BOOKCASE

BOARD

BENCH

BOTH FACES

BACKFLOW PREVENTER

BITUMINOUS

BASE LINE

BUILDING

BLANKET

DOWN

DAMP

DAMPF

DAMPING

DAMPEN

DOMESTIC

DOOR OPENING

DOOR

DOOR, DRAIN, DRIVE

DRY STANDPIPE

DETAIL

DRAWING

EAST

EXPANSION BOLT

EXHAUST FAN

EFFICIENCY

EXPANSION JOINT

ELEVATION

ELECTRIC, ELECTRICAL

ELEVATOR

EMERGENCY

CLOSED

ENGINEER

ENTRANCE

EDGE OF SLAB

ELECTRICAL PANEL

ENVIRONMENTAL PROTECTION AGENCY

EQUAL

EQUALLY SPACED

EQUIPMENT

EQUIVALENT

EXTERIOR SOFFIT BOARD

ESCAPE

EASEMENT

EXISTING TO REMAIN

ELECTRICAL WATER COOLER

ELECTRICAL WATER HEATER

EXAMPLE

EXCAVATE

EXHAUST

EXHAUST VENT

EXISTING

EXPANSION

EXTERIOR, EXTERNAL, EXTINGUISHER

Fahrenheit, Female

Fire Alarm, Fresh Air

Fire Alarm

Fire Alarm Control Panel

Fresh Air Inlet

COMP

CONC

CONC FL

CONN

CONSTR

CONT

CONTR

COORD

COP

CORR

CPT

CSK

CT

CTB

CTD

CTG

CTR

CTRL

CU FT

CU IN

CUR

CU YD

CW

CYL

Ø

D

DBL

DEG

DEL

DEMO

DEPT

DET

DEV

DF

DIA

DIAG

DIFF

DIM

DIRECTION

DISC

DISCONNECT

DISP

DIST

DIV

DMPF

DMPR

DN

DOM

DOP

DOZ

DR

DSP

DTL

DWG

E

EACH

EXPANSION BOLT

EXHAUST FAN

EFFICIENCY

EXPANSION JOINT

ELEVATION

ELECTRIC, ELECTRICAL

ELEVATOR

EMERGENCY

CLOSED

ENGINEER

ENTRANCE

EDGE OF SLAB

ELECTRICAL PANEL

ENVIRONMENTAL PROTECTION AGENCY

EQUAL

EQUALLY SPACED

EQUIPMENT

EQUIVALENT

EXTERIOR SOFFIT BOARD

ESCAPE

EASEMENT

EXISTING TO REMAIN

ELECTRICAL WATER COOLER

ELECTRICAL WATER HEATER

EXAMPLE

EXCAVATE

EXHAUST

EXHAUST VENT

EXISTING

EXPANSION

EXTERIOR, EXTERNAL, EXTINGUISHER

Farenhit, Female

Fire Alarm, Fresh Air

Fire Alarm

Fire Alarm Control Panel

Fresh Air Inlet

COMPRESSIBLE

CONCRETE

CONCRETE FL

CONNECT, CONNECTION

CONSTRUCTION

CONTINUE, CONTINUOUS

CONTRACT, CONTRACTOR

COORDINATE

COPPER

COORDIDOR

CARPET

COUNTERSUNK

CERAMIC TILE

CERAMIC TILE BASE

COATED

COATING

CENTER

CONTROL

CUBIC FOOT (FEET)

CUBIC INCH

CURRENT

CUBIC YARD

CURTAIN WALL, COLD WATER PIPING

CYLINDER

DIAMETER

DEEP, DEPTH

DOUBLE

DEGREE

DELETE

DEMOLITION

DEPARTMENT

DETAIL

DEVELOPMENT

DRINKING FOUNTAIN

DIAMETER

DIAGRAM

DIFFERENCE, DIFFUSER

DIMENSION

DIRECTION

DISCONNECT

DISPENSER

DISTANCE

DIVISION

DAMPPROOFING

DAMPER

DOWN

DOMESTIC

DOOR OPENING

DOOR

DOOR, DRAIN, DRIVE

DRY STANDPIPE

DETAIL

DRAWING

EAST

EXPANSION BOLT

EXHAUST FAN

EFFICIENCY

EXPANSION JOINT

ELEVATION

ELECTRIC, ELECTRICAL

ELEVATOR

EMERGENCY

CLOSED

ENGINEER

ENTRANCE

EDGE OF SLAB

ELECTRICAL PANEL

ENVIRONMENTAL PROTECTION AGENCY

EQUAL

EQUALLY SPACED

EQUIPMENT

EQUIVALENT

EXTERIOR SOFFIT BOARD

ESCAPE

EASEMENT

EXISTING TO REMAIN

ELECTRICAL WATER COOLER

ELECTRICAL WATER HEATER

EXAMPLE

EXCAVATE

EXHAUST

EXHAUST VENT

EXISTING

EXPANSION

EXTERIOR, EXTERNAL, EXTINGUISHER

FC

FCO

FACTORY

Fan Coil Unit

Floor Drain

Foundation

Fire Extinguisher

Fire Extinguisher Cabinet

Federal

Batt Foil Backed Batt Insulation

Fabric Flashing, Finish Face

Furniture, Fixture & Equipment

Face to Face

Fiberglass

Fire Hose

Fire Hose Cabinet

Fire Hose Rack

Fire Hydrant

Figure

Fillet

Finished

Finish Both Side

Finished Floor

Fixture

FLEX

FLMT

FLR

FLR SK

FLUOR

FN

FOC

FOF

FOM

FP

FPM

FPS

FR

FRG

FRP

FS

FT

FTG

FTR

FURN

FURR

FUT

FV

FVM

FWC

G

GA

GALV

GALV STL

GB

GC

GCV

GD

GEN

GFCI

GFRG

GL

GLZ

GND

GOVT

GP

GPD

GPH

GPM

GPS

GR

GR FL

GR WT

GRAN

GRL

GRTG

GSKT

GSU

GT

GVL

GWB

GYP BD

GYP

H

HAZ

HB

HC

HCMU

HD

HDBD

HDPE

HDW

HDWD

HDWL

HEX

Fire Cabinet, Foot Candle

Floor Clean Out

Factory

Fan Coil Unit

Floor Drain

Foundation

Fire Extinguisher

Fire Extinguisher Cabinet

Federal

Batt Foil Backed Batt Insulation

Fabric Flashing, Finish Face

Furniture, Fixture & Equipment

Face to Face

Fiberglass

Fire Hose

Fire Hose Cabinet

Fire Hose Rack

Fire Hydrant

Figure</



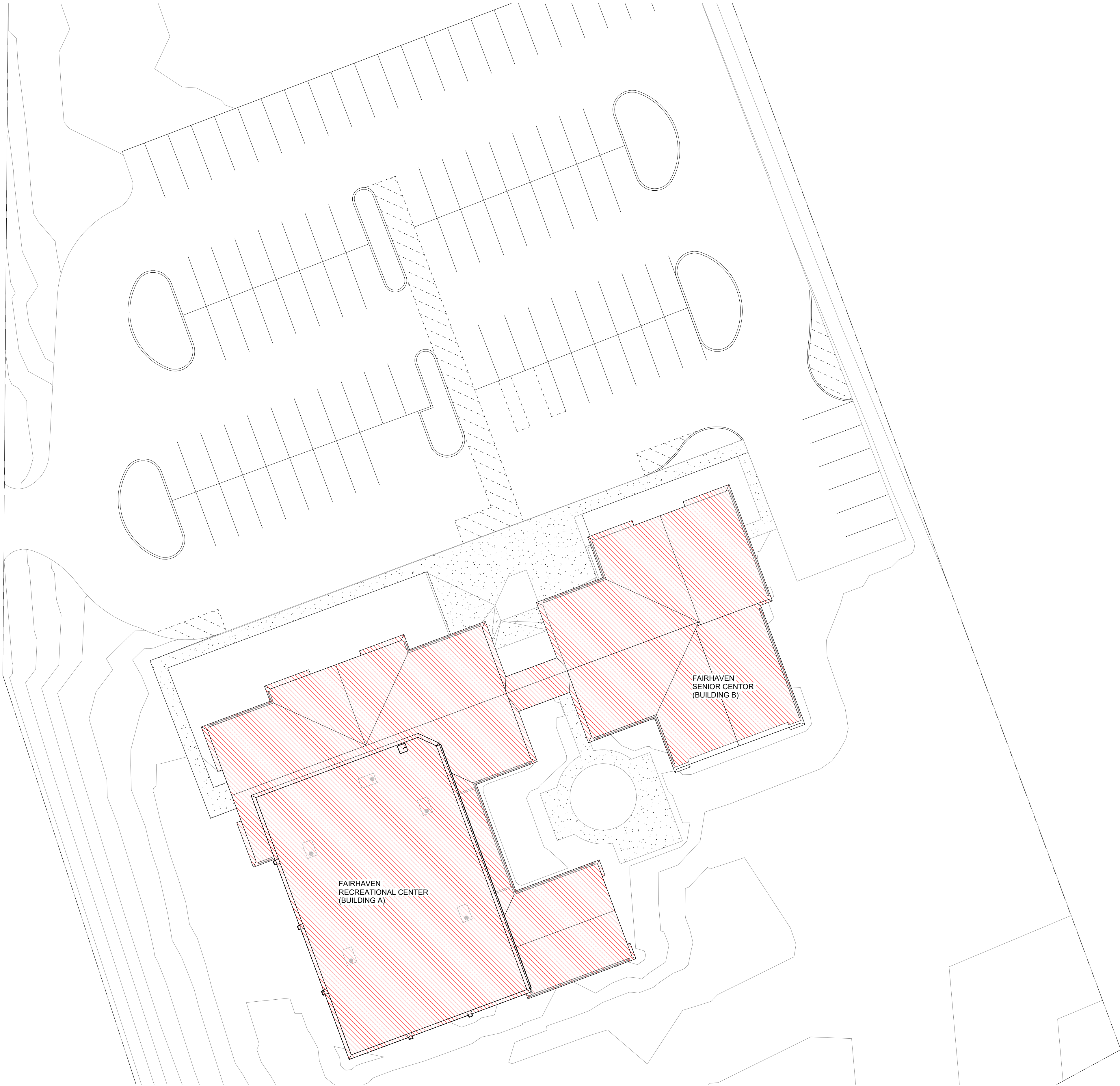
54 CANAL STREET
2ND FLOOR
BOSTON, MA 02114
617-267-6408
FAX 617-267-1990

[illegible]

ISSUE	DATE	DESCRIPTION
<p style="text-align: center;">SENIOR AND RECREATIONAL CENTER ROOF REPLACEMENT</p> <p style="text-align: center;">227-229 HUTTLESTON AVE, FAIRHAVEN, MA 02719</p>		

100% DOCUMENTS FOR BID

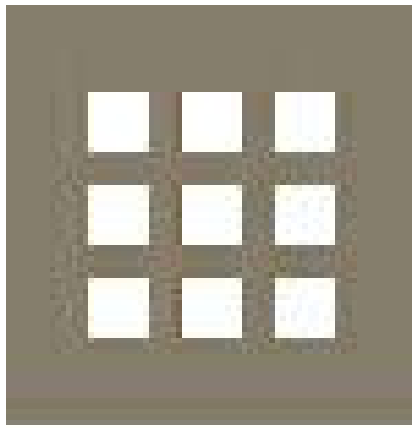
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SCALE AS NOTED	<div></div>
CHECKED BY JG	
DRAWN BY BG	
DESIGNED BY NPJ	
PROJECT NO. 5060	
DATE 8/14/2024	DRAWING NO. <div>A-003</div>



GRAPHIC LEGEND - SITE PLAN

	EXISTING TO REMAIN
	NEW WORK
	SCOPE OF WORK

1 Site Plan
1" = 20'-0"



DHK
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FAX 617-267-1990

TOWN OF FAIRHAVEN

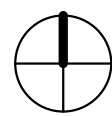
SENIOR AND
RECREATIONAL CENTER
ROOF REPLACEMENT

227-229 HUTTLESTON AVE,
FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

ARCHITECTURAL SITE
PLAN

SCALE:
AS NOTED



CHECKED BY: JG

DRAWN BY: BG

DESIGNED BY: NPD



PROJECT NO: 5060

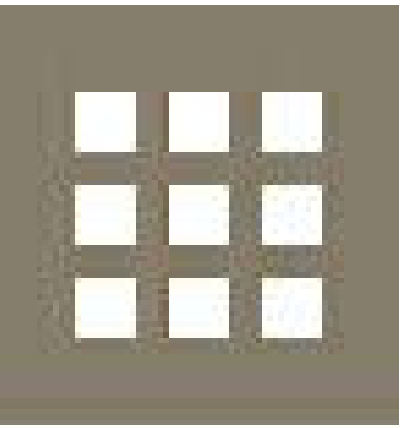
DATE: 8/14/2024

DRAWING NO:

A-004

GRAPHIC LEGEND - DEMOLITION

	EXISTING TO REMAIN
	DEMOLITION WORK



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FAX 617-267-1990

TOWN OF FAIRHAVEN


[illegible]

SENIOR AND RECREATIONAL CENTER ROOF REPLACEMENT

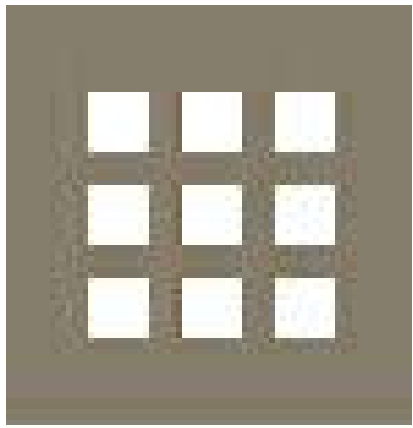
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FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

DEMO ROOF PLAN

SCALE	
AS NOTED	
	
CHECKED BY	JG
DRAWN BY	BG
DESIGNED BY	NPD
PROJECT NO.	5060
DATE	8/14/2024

A-101



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ARCHITECTS

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TOWN OF FAIRHAVEN

SENIOR AND
RECREATIONAL CENTER
ROOF REPLACEMENT

227-229 HUTTLESTON AVE,
FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

DEMO OVERALL
ELEVATIONS

SCALE	AS NOTED
CHECKED BY	JG
DRAWN BY	BG
DESIGNED BY	NPD
PROJECT NO.	5060
DATE	8/14/2024

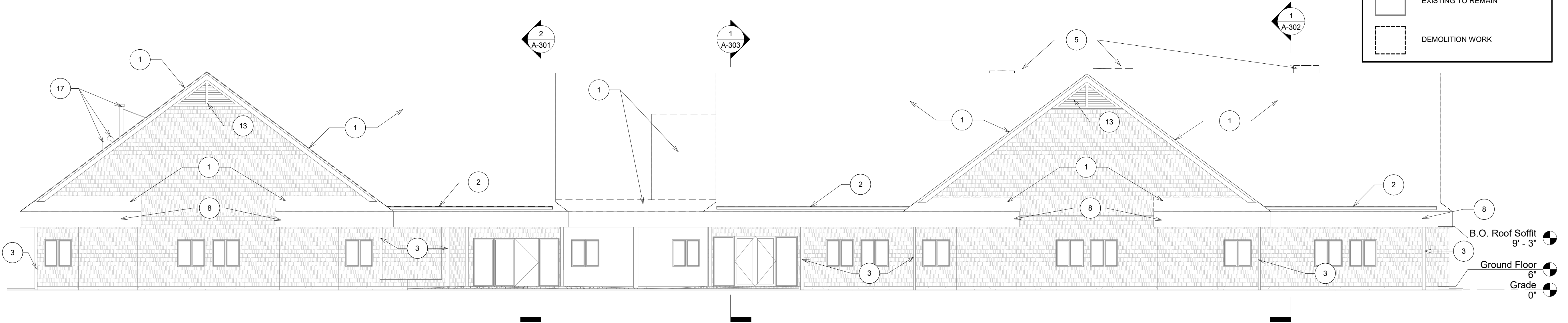
A-201

DEMOLITION NOTES	
Note #	NOTE
1	EXISTING ROOF, FLASHING, SHINGLES, AND UNDERLAYMENT DOWN TO SHEATHING TO BE REMOVED AND DISPOSED OF. EXISTING SHEATHING TO REMAIN AND BE PROTECTED.
2	EXISTING MTL. FLASHING AND DRIP EDGES INCLUDED IN SCOPE SHALL BE CAREFULLY REMOVED FOR INSPECTION. GUTTER TROUGH TO BE INSPECTED FOR WATER DAMAGE AND ROT. WATER DAMAGED OR ROTTEN WOOD TO BE REMOVED AND DISPOSED OF.
3	ALL EXISTING DOWNSPOUT SHALL BE DISCONNECTED, REVIEWED FOR DAMAGE AND STORED FOR REUSE.
4	EXISTING STEPPED FLASHING TO BE REMOVED AND DISPOSED OF.
5	PHASE THE CONSTRUCTION WORK TO MINIMIZE THE DOWNTIME OF MECHANICAL UNITS, ENSURING THEY ARE OUT OF SERVICE FOR THE SHORTEST POSSIBLE DURATION.
6	ROOFTOP ACCESS HATCH TO BE REMOVED AND STORED DURING CONSTRUCTION FOR REUSE.
7	EXISTING PARAPET CAP AND ASSOCIATED BLOCKING TO BE REMOVED AND DISPOSED OF.
8	REMOVE EXISTING SOFFIT VENT MESH SCREEN.
9	REMOVE FLASHING AT ROOF PENETRATIONS, INCLUDING VENT STACKS, PIPING, CONDUIT, PITCH POCKETS, AND SIDE WALL IN SCOPE AREA.
10	REMOVE WOOD BLOCKING AT CANTS, EXPANSION JOINTS, AND PARAPETS IN SCOPE AREA.
11	EXISTING STRUCTURE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
12	REMOVE EXISTING GUTTER AND STORE FOR REINSTALLATION.
13	GABEL END VENT TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
14	REMOVE AND DISPOSE OF FLASHING. CLEAN EXISTING FLASHING LOCATIONS FOR REUSE.
15	EXISTING EPDM ROOF SYSTEM, VAPOR BARRIER, AND INSULATION TO BE REMOVED AND DISPOSED OF DOWN TO METAL DECK.
16	EXISTING 5/8" ROOF SHEATHING TO REMAIN.
17	REMOVE EXISTING FLASHING AROUND EXISTING ROOF PENETRATIONS. LEAVE PENETRATION EQUIPMENT IN PLACE DURING CONSTRUCTION.

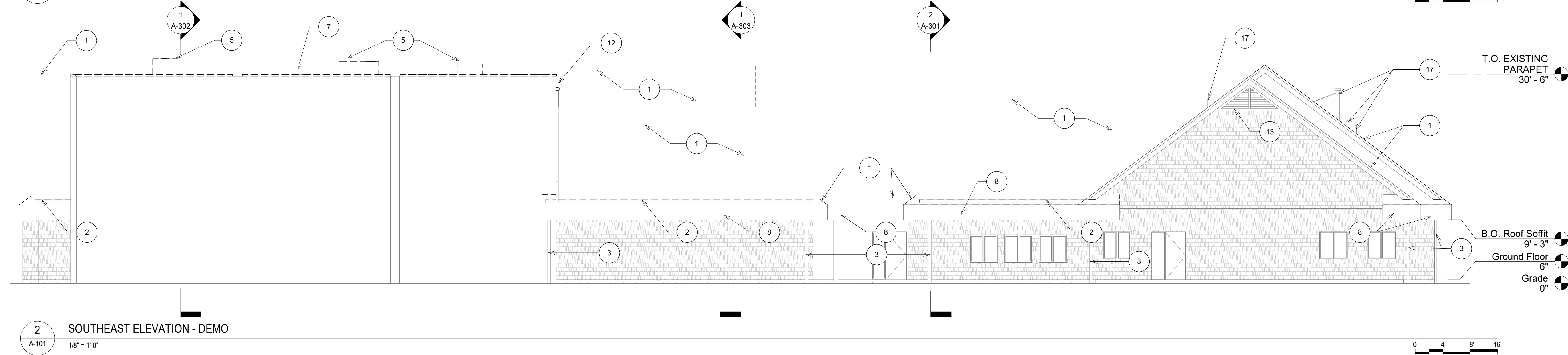
REFER TO PLANS AND SECTIONS FOR NOTES NOT SHOWN ON ELEVATIONS

GRAPHIC LEGEND - DEMOLITION

	EXISTING TO REMAIN
	DEMOLITION WORK



1 NORTHWEST ELEVATION - DEMO
1/8" = 1'-0"





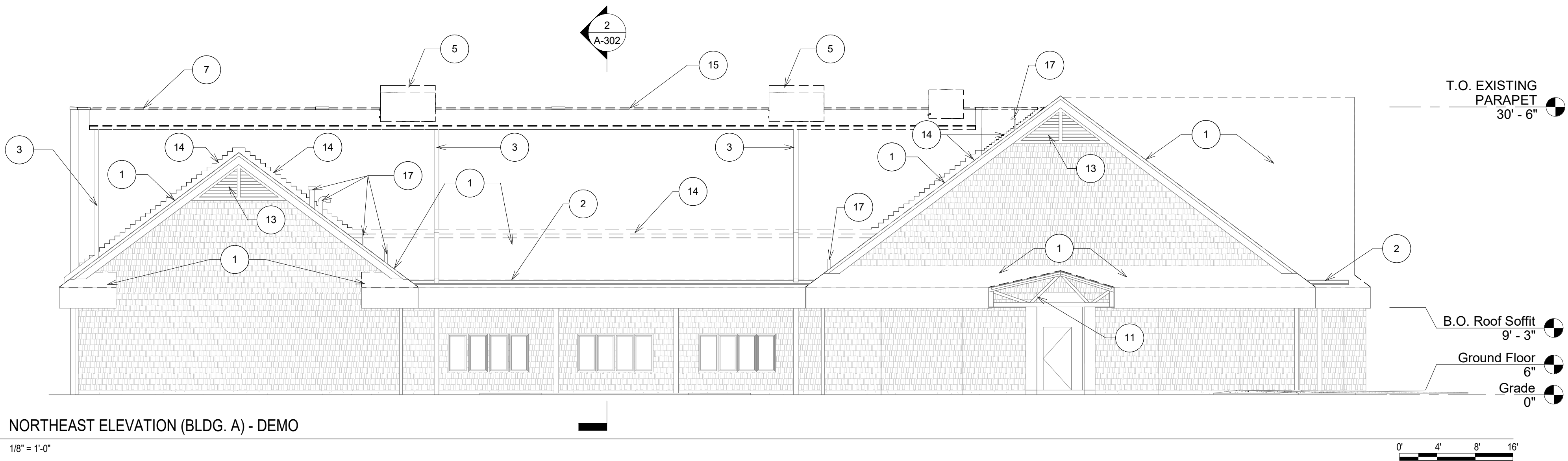
2 SOUTHEAST ELEVATION - DEMO
1/8" = 1'-0"

DEMOLITION NOTES	
Note #	NOTE
1	EXISTING ROOF, FLASHING, SHINGLES, AND UNDERLAYMENT DOWN TO SHEATHING TO BE REMOVED AND DISPOSED OF. EXISTING SHEATHING TO REMAIN AND BE PROTECTED.
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8	REMOVE EXISTING SOFFIT VENT MESH SCREEN.
9	REMOVE FLASHING AT ROOF PENETRATIONS, INCLUDING VENT STACKS, PIPING, CONDUIT, PITCH POCKETS, AND SIDE WALL IN SCOPE AREA.
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16	EXISTING 5/8" ROOF SHEATHING TO REMAIN.
17	REMOVE EXISTING FLASHING AROUND EXISTING ROOF PENETRATIONS. LEAVE PENETRATION EQUIPMENT IN PLACE DURING CONSTRUCTION.

REFER TO PLANS AND SECTIONS FOR NOTES NOT SHOWN ON ELEVATIONS

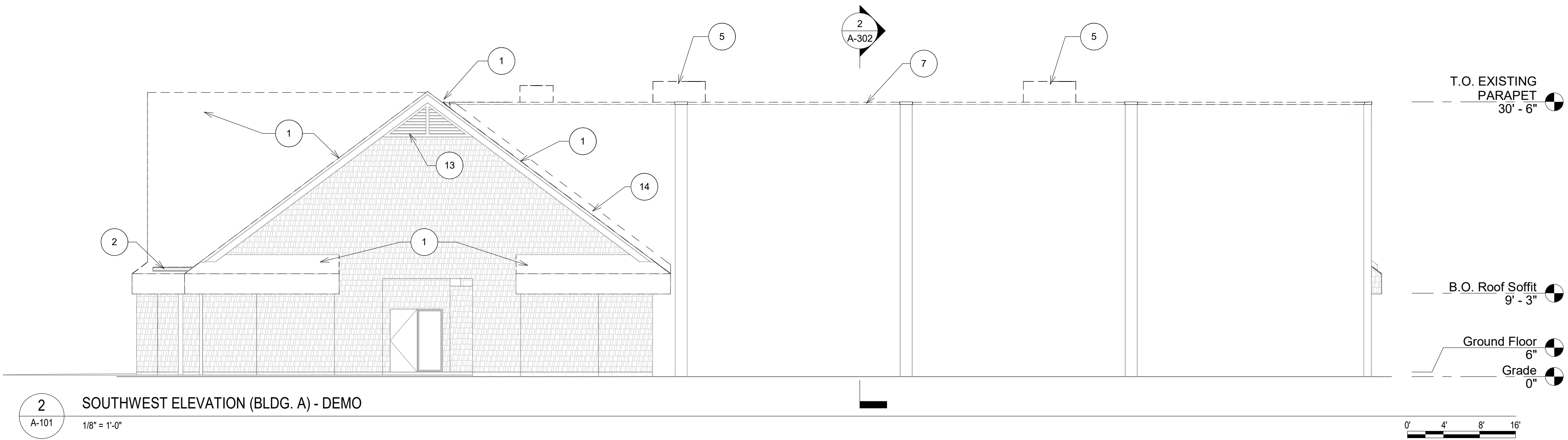
GRAPHIC LEGEND - DEMOLITION

	EXISTING TO REMAIN
	DEMOLITION WORK



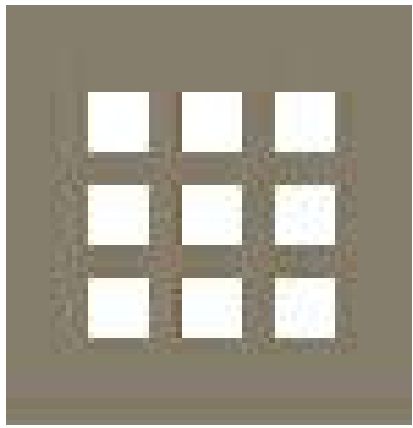
1
A-101
1/8" = 1'-0"

NORTHEAST ELEVATION (BLDG. A) - DEMO



2
A-101
1/8" = 1'-0"

SOUTHWEST ELEVATION (BLDG. A) - DEMO



DHK
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TOWN OF FAIRHAVEN

SENIOR AND
RECREATIONAL CENTER
ROOF REPLACEMENT

227-229 HUTTLESTON AVE,
FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

DEMO BUILDING A
ELEVATIONS

SCALE

AS NOTED

CHECKED BY

JG

DRAWN BY

BG

DESIGNED BY

NPD

PROJECT NO.

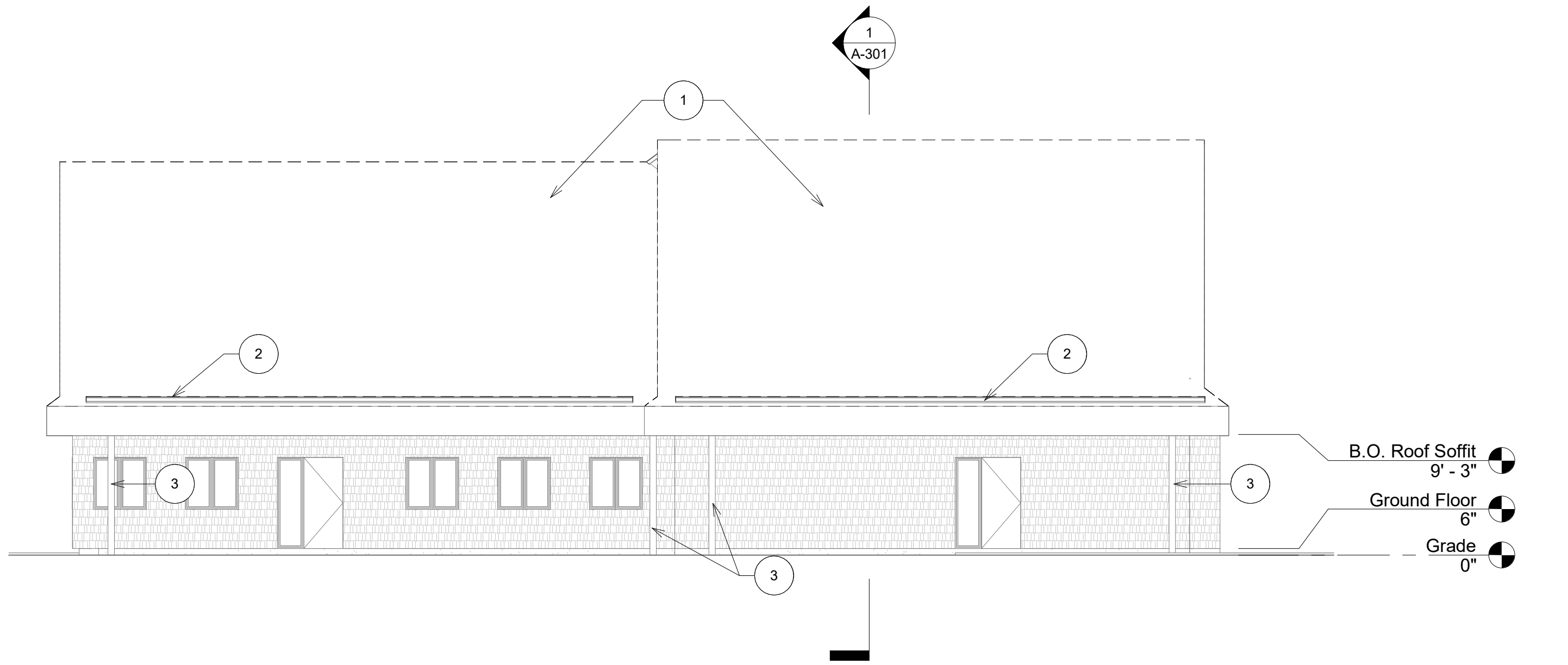
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DATE

8/14/2024

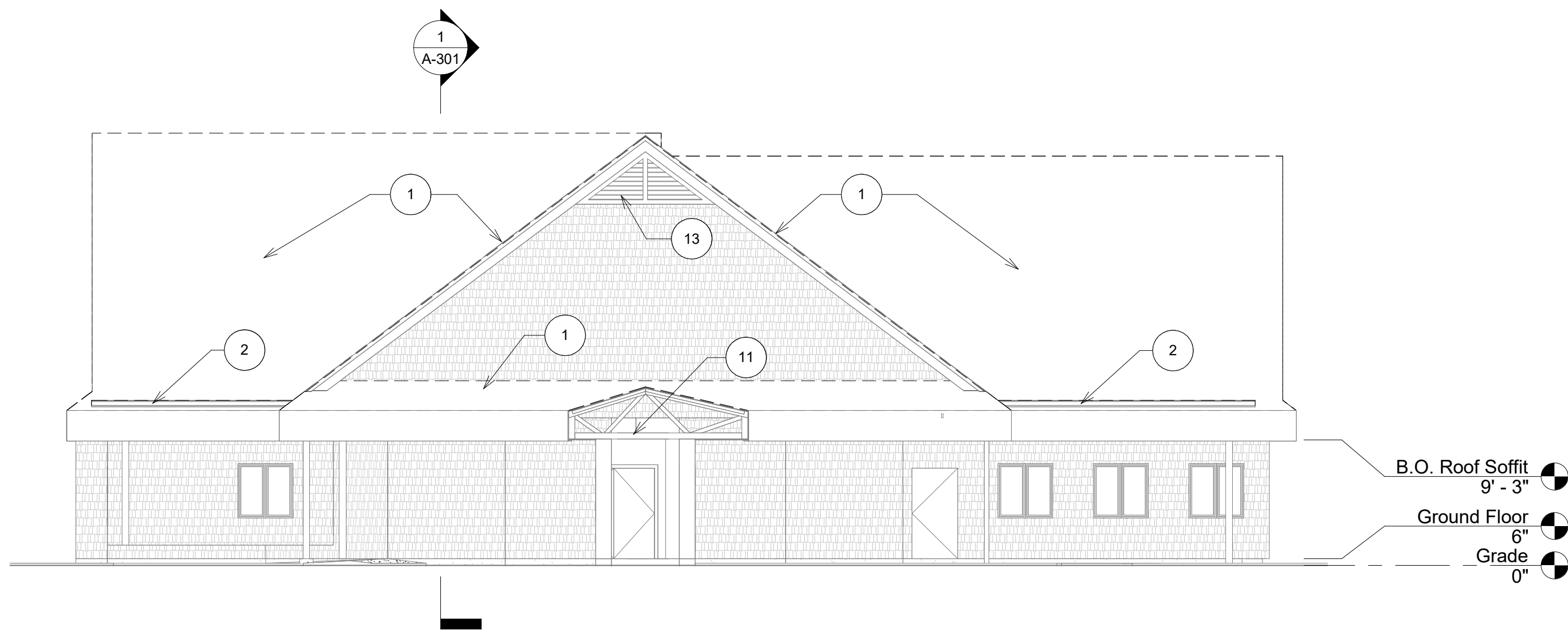
DRAWING NO.

A-202



1
A-101
1/8" = 1'-0"

NORTHEAST ELEVATION (BLDG. B) - DEMO



2
A-101
1/8" = 1'-0"

SOUTHWEST ELEVATION (BLDG. B) - DEMO

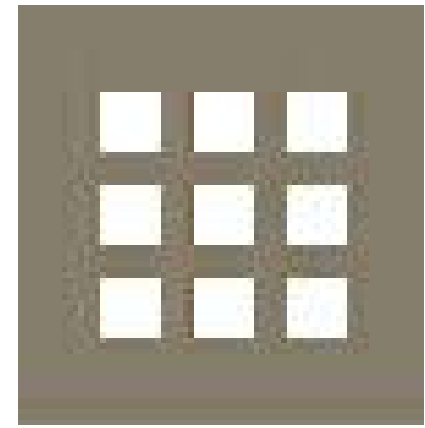


DEMOLITION NOTES	
Note #	NOTE
1	EXISTING ROOF, FLASHING, SHINGLES, AND UNDERLAYMENT DOWN TO SHEATHING TO BE REMOVED AND DISPOSED OF. EXISTING SHEATHING TO REMAIN AND BE PROTECTED.
2	EXISTING MTL. FLASHING AND DRIP EDGES INCLUDED IN SCOPE SHALL BE CAREFULLY REMOVED FOR INSPECTION. GUTTER TROUGH TO BE INSPECTED FOR WATER DAMAGE AND ROT. WATER DAMAGED OR ROTTEN WOOD TO BE REMOVED AND DISPOSED OF.
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5	PHASE THE CONSTRUCTION WORK TO MINIMIZE THE DOWNTIME OF MECHANICAL UNITS, ENSURING THEY ARE OUT OF SERVICE FOR THE SHORTEST POSSIBLE DURATION.
6	ROOFTOP ACCESS HATCH TO BE REMOVED AND STORED DURING CONSTRUCTION FOR REUSE.
7	EXISTING PARAPET CAP AND ASSOCIATED BLOCKING TO BE REMOVED AND DISPOSED OF.
8	REMOVE EXISTING SOFFIT VENT MESH SCREEN.
9	REMOVE FLASHING AT ROOF PENETRATIONS, INCLUDING VENT STACKS, PIPING, CONDUIT, PITCH POCKETS, AND SIDE WALL IN SCOPE AREA.
10	REMOVE WOOD BLOCKING AT CANTS, EXPANSION JOINTS, AND PARAPETS IN SCOPE AREA.
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12	REMOVE EXISTING GUTTER AND STORE FOR REINSTALLATION.
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14	REMOVE AND DISPOSE OF FLASHING. CLEAN EXISTING FLASHING LOCATIONS FOR REUSE.
15	EXISTING EPDM ROOF SYSTEM, VAPOR BARRIER, AND INSULATION TO BE REMOVED AND DISPOSED OF DOWN TO METAL DECK.
16	EXISTING 5/8" ROOF SHEATHING TO REMAIN.
17	REMOVE EXISTING FLASHING AROUND EXISTING ROOF PENETRATIONS. LEAVE PENETRATION EQUIPMENT IN PLACE DURING CONSTRUCTION.

REFER TO PLANS AND SECTIONS FOR NOTES NOT SHOWN ON ELEVATIONS

GRAPHIC LEGEND - DEMOLITION

	EXISTING TO REMAIN
	DEMOLITION WORK



DHK
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TOWN OF FAIRHAVEN

SENIOR AND
RECREATIONAL CENTER
ROOF REPLACEMENT

227-229 HUTTLESTON AVE,
FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

DEMO BUILDING B
ELEVATIONS

SCALE
AS NOTED

CHECKED BY
JG

DRAWN BY
BG

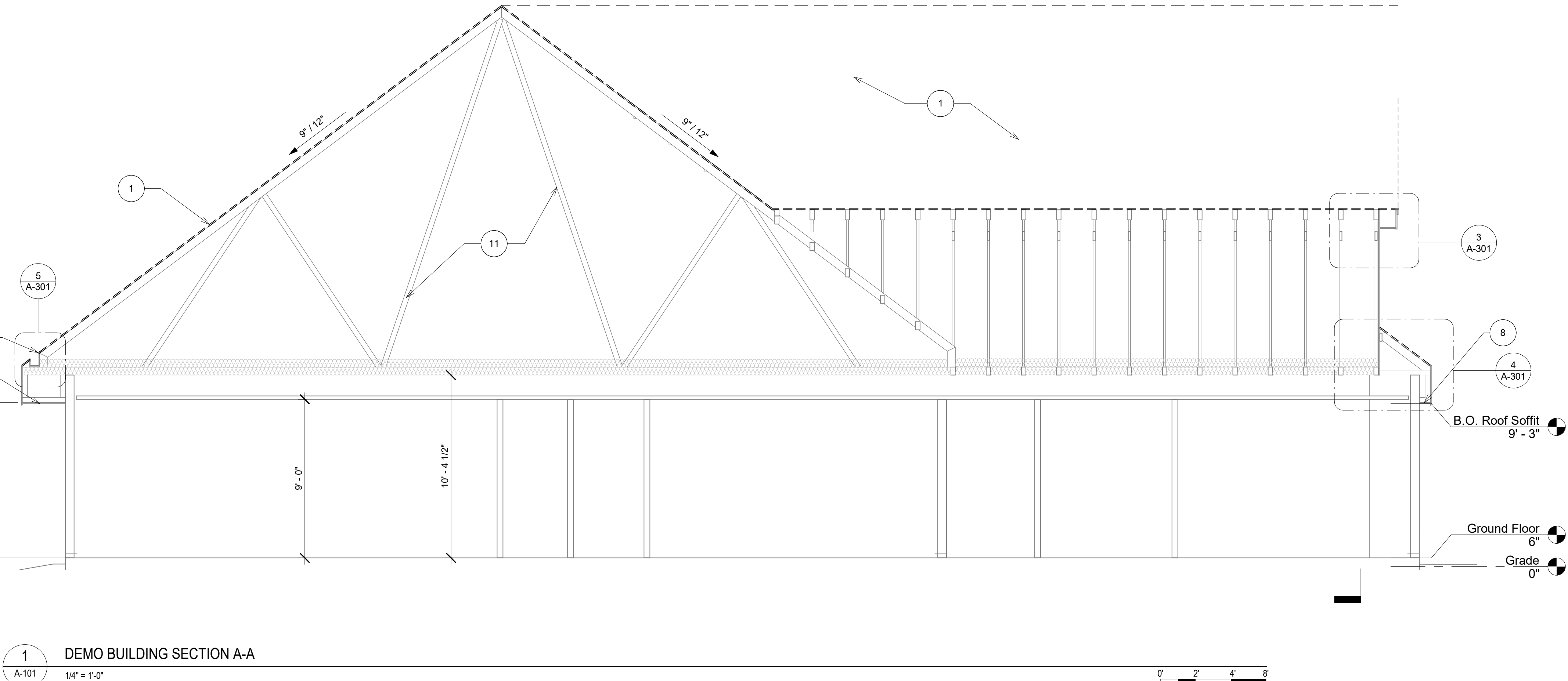
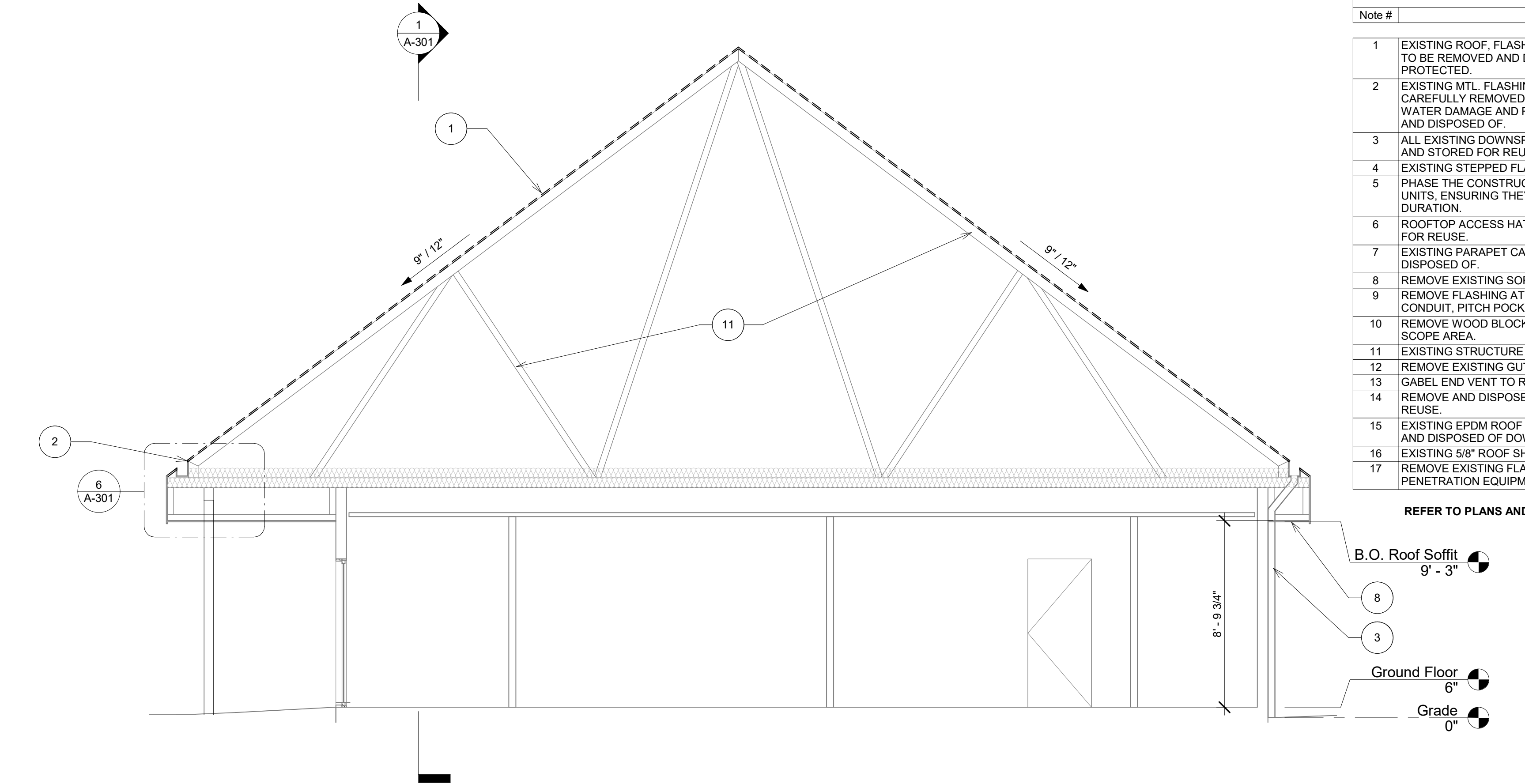
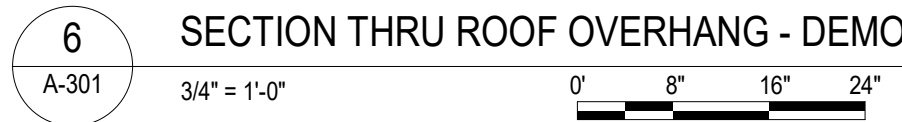
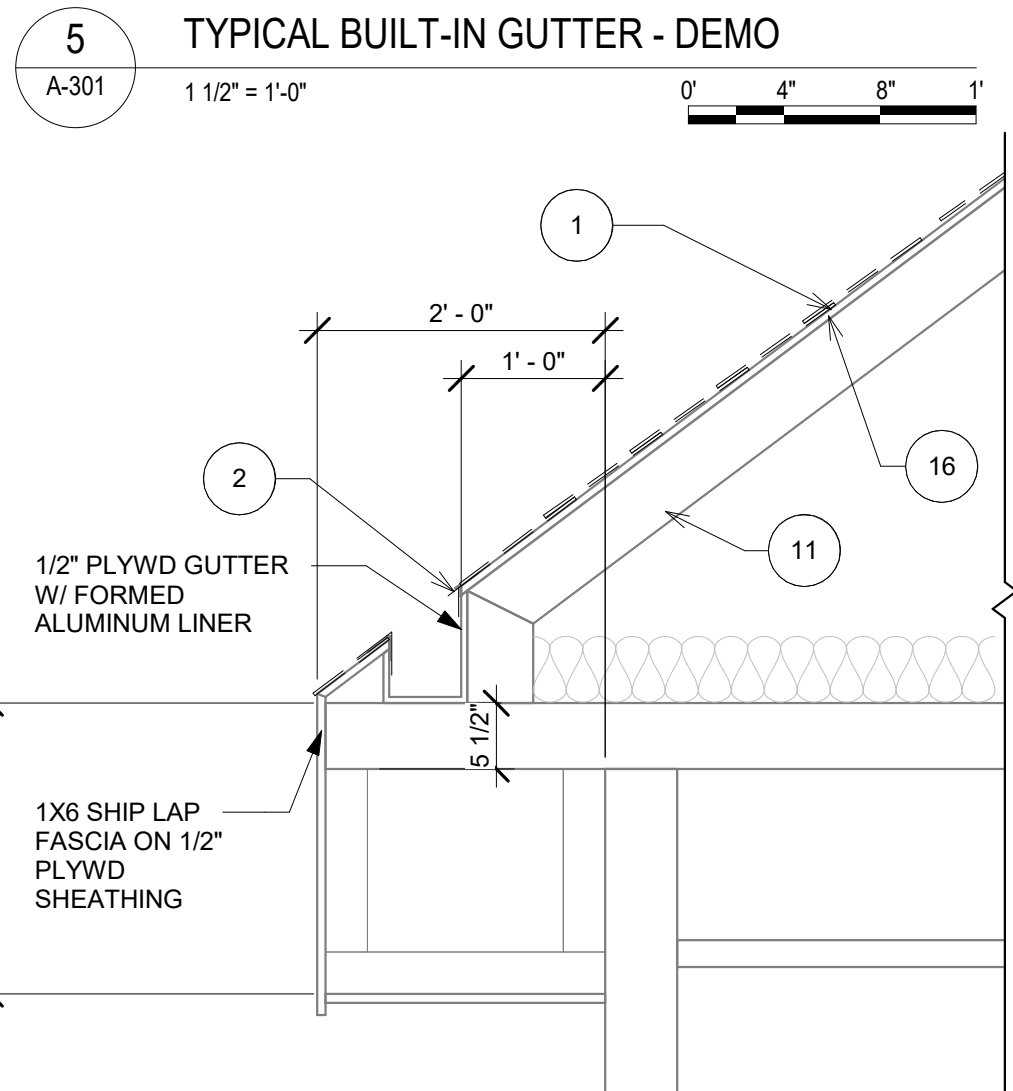
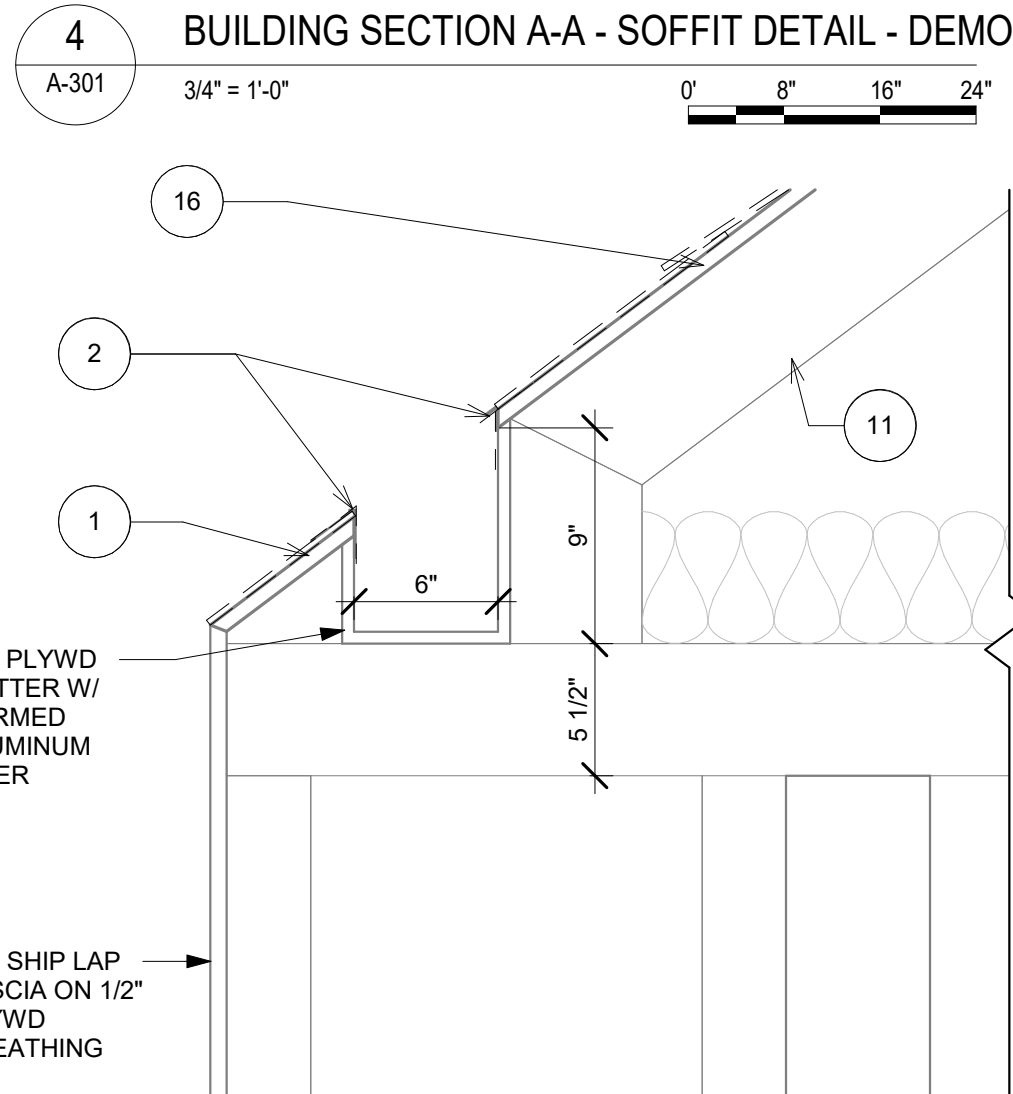
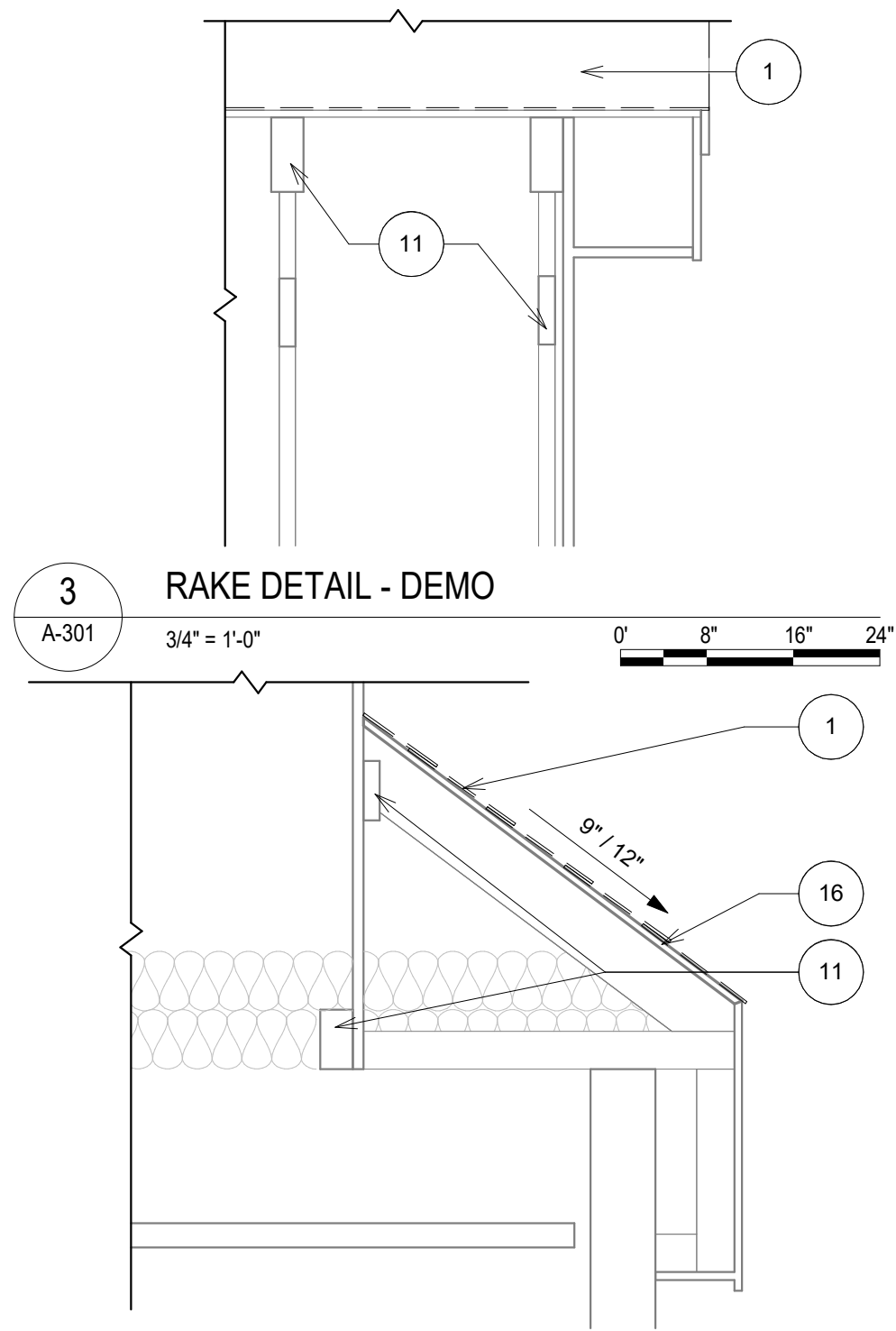
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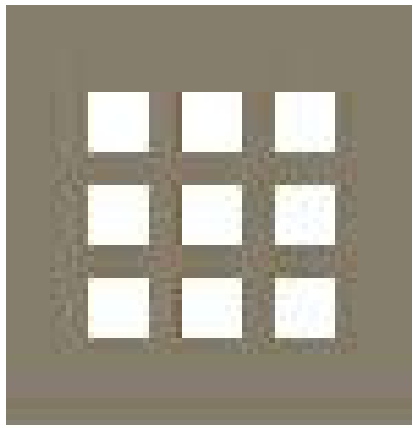


DEMOLITION NOTES	
Note #	NOTE
1	EXISTING ROOF, FLASHING, SHINGLES, AND UNDERLAYMENT DOWN TO SHEATHING TO BE REMOVED AND DISPOSED OF. EXISTING SHEATHING TO REMAIN AND BE PROTECTED.
2	EXISTING MTL. FLASHING AND DRIP EDGES INCLUDED IN SCOPE SHALL BE CAREFULLY REMOVED FOR INSPECTION. GUTTER TROUGH TO BE INSPECTED FOR WATER DAMAGE AND ROT. WATER DAMAGED OR ROTTEN WOOD TO BE REMOVED AND DISPOSED OF.
3	ALL EXISTING DOWNSPOUT SHALL BE DISCONNECTED, REVIEWED FOR DAMAGE AND STORED FOR REUSE.
4	EXISTING STEPPED FLASHING TO BE REMOVED AND DISPOSED OF.
5	PHASE THE CONSTRUCTION WORK TO MINIMIZE THE DOWNTIME OF MECHANICAL UNITS, ENSURING THEY ARE OUT OF SERVICE FOR THE SHORTEST POSSIBLE DURATION.
6	ROOFTOP ACCESS HATCH TO BE REMOVED AND STORED DURING CONSTRUCTION FOR REUSE.
7	EXISTING PARAPET CAP AND ASSOCIATED BLOCKING TO BE REMOVED AND DISPOSED OF.
8	REMOVE EXISTING SOFFIT VENT MESH SCREEN.
9	REMOVE FLASHING AT ROOF PENETRATIONS, INCLUDING VENT STACKS, PIPING, CONDUIT, PITCH POCKETS, AND SIDE WALL IN SCOPE AREA.
10	REMOVE WOOD BLOCKING AT CANTS, EXPANSION JOINTS, AND PARAPETS IN SCOPE AREA.
11	EXISTING STRUCTURE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
12	REMOVE EXISTING GUTTER AND STORE FOR REINSTALLATION.
13	GABEL END VENT TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
14	REMOVE AND DISPOSE OF FLASHING. CLEAN EXISTING FLASHING LOCATIONS FOR REUSE.
15	EXISTING EPDM ROOF SYSTEM, VAPOR BARRIER, AND INSULATION TO BE REMOVED AND DISPOSED OF DOWN TO METAL DECK.
16	EXISTING 5/8" ROOF SHEATHING TO REMAIN.
17	REMOVE EXISTING FLASHING AROUND EXISTING ROOF PENETRATIONS, LEAVE PENETRATION EQUIPMENT IN PLACE DURING CONSTRUCTION.

REFER TO PLANS AND ELEVATIONS FOR NOTES NOT SHOWN ON SECTIONS

GRAPHIC LEGEND - DEMOLITION

	EXISTING TO REMAIN
	DEMOLITION WORK



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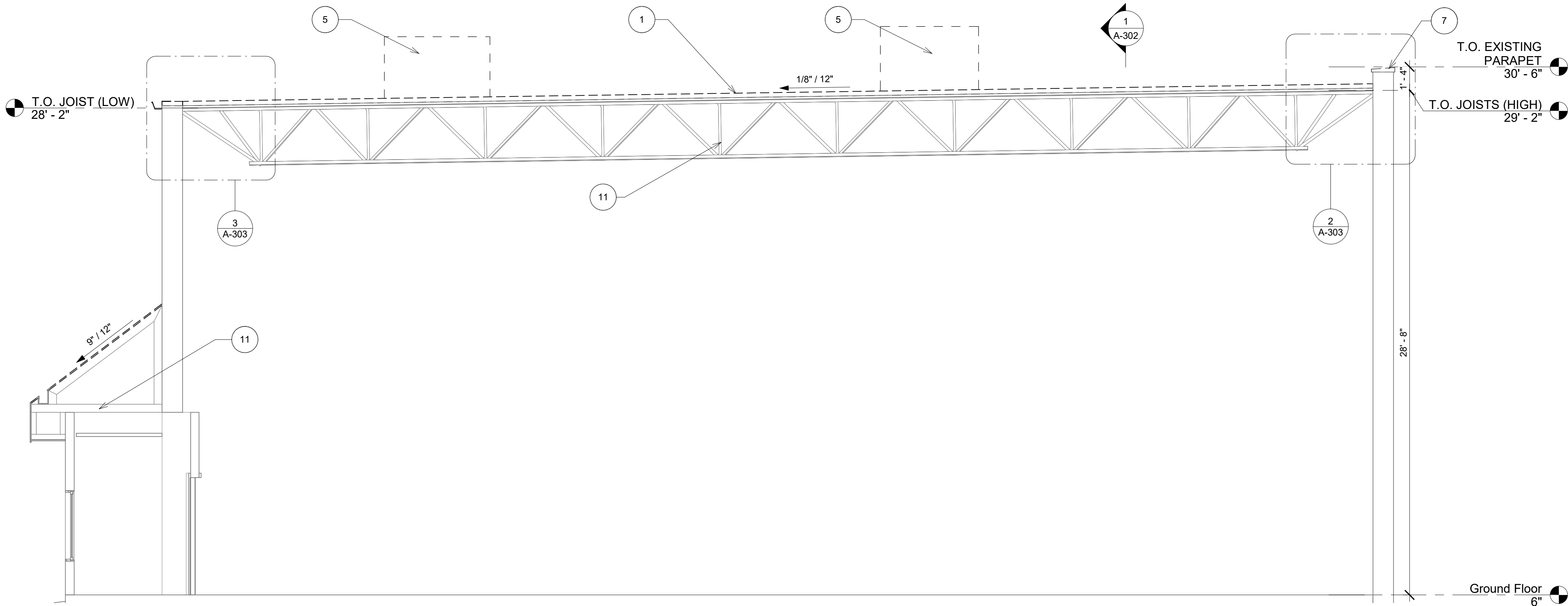
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DEMO BUILDING SECTIONS
AND DETAILS 1 OF 3

SCALE	AS NOTED
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PROJECT NO.	5060
DATE	8/14/2024

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A-301



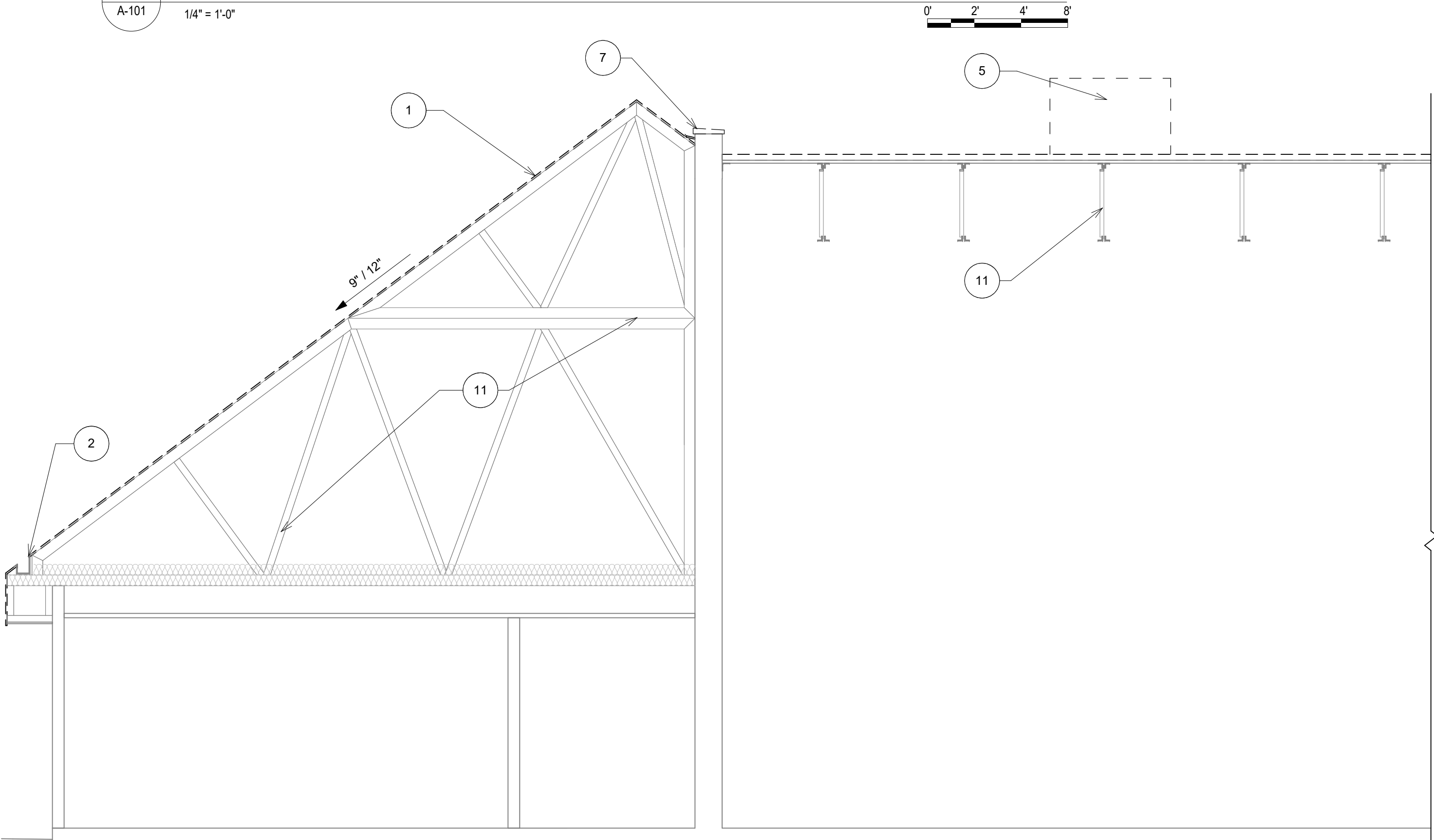
DEMOLITION NOTES	
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REFER TO PLANS AND ELEVATIONS FOR NOTES NOT SHOWN ON SECTIONS

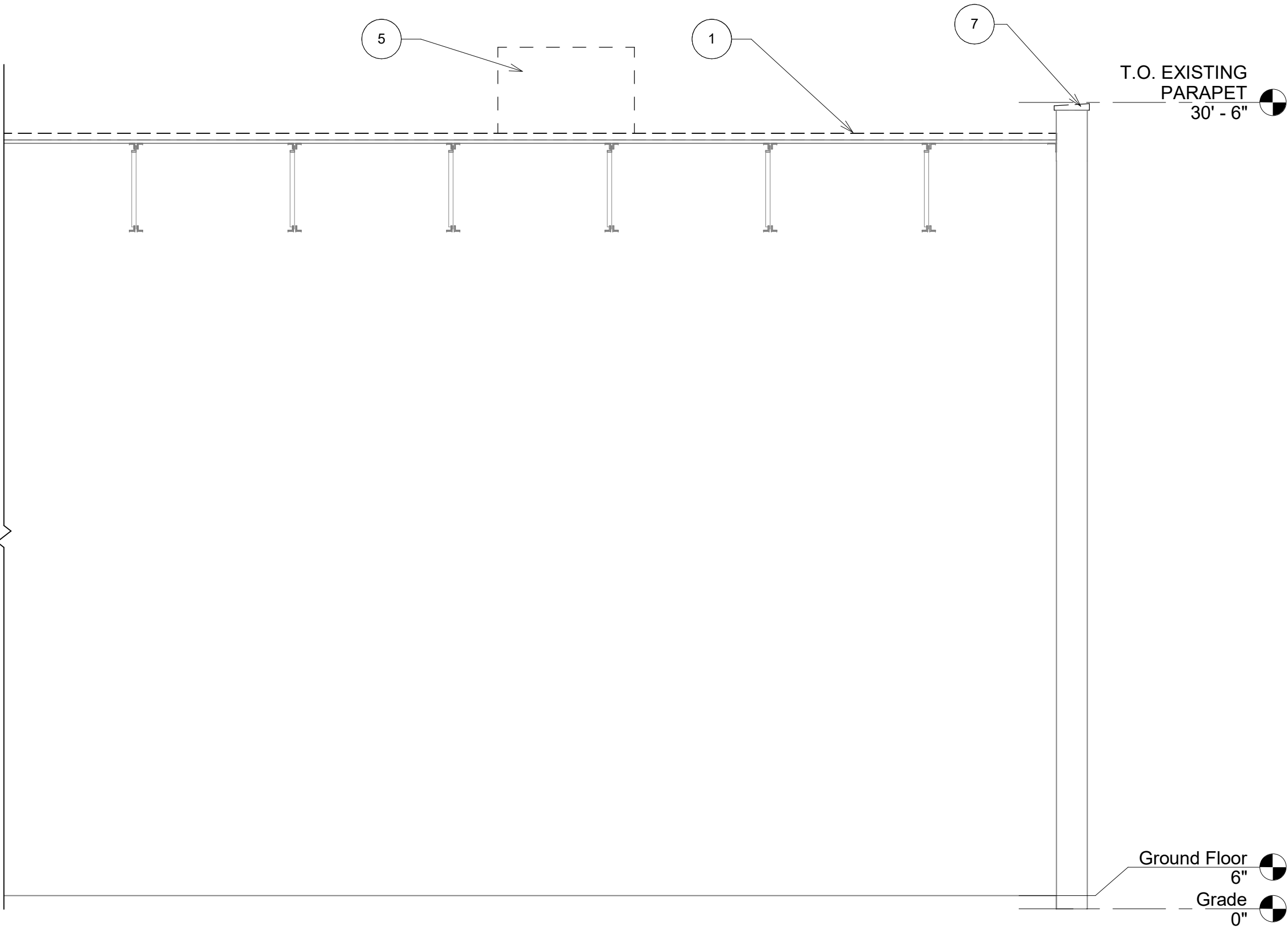
GRAPHIC LEGEND - DEMOLITION

	EXISTING TO REMAIN
	DEMOLITION WORK

2 DEMO BUILDING SECTION D-D
A-101 1/4" = 1'-0"



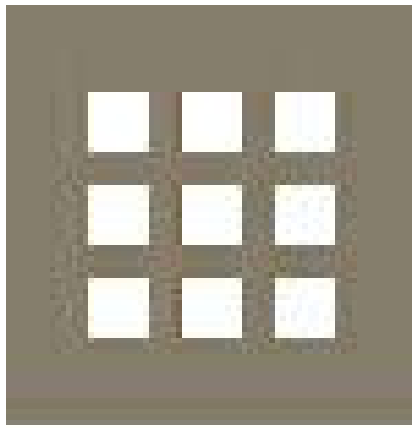
0' 2' 4' 8'



Ground Floor 6"
Grade 0"

0' 2' 4' 8'

1 DEMO BUILDING SECTION C-C
A-101 1/4" = 1'-0"



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DEMO BUILDING SECTIONS
AND DETAILS 2 OF 3

SCALE
AS NOTED

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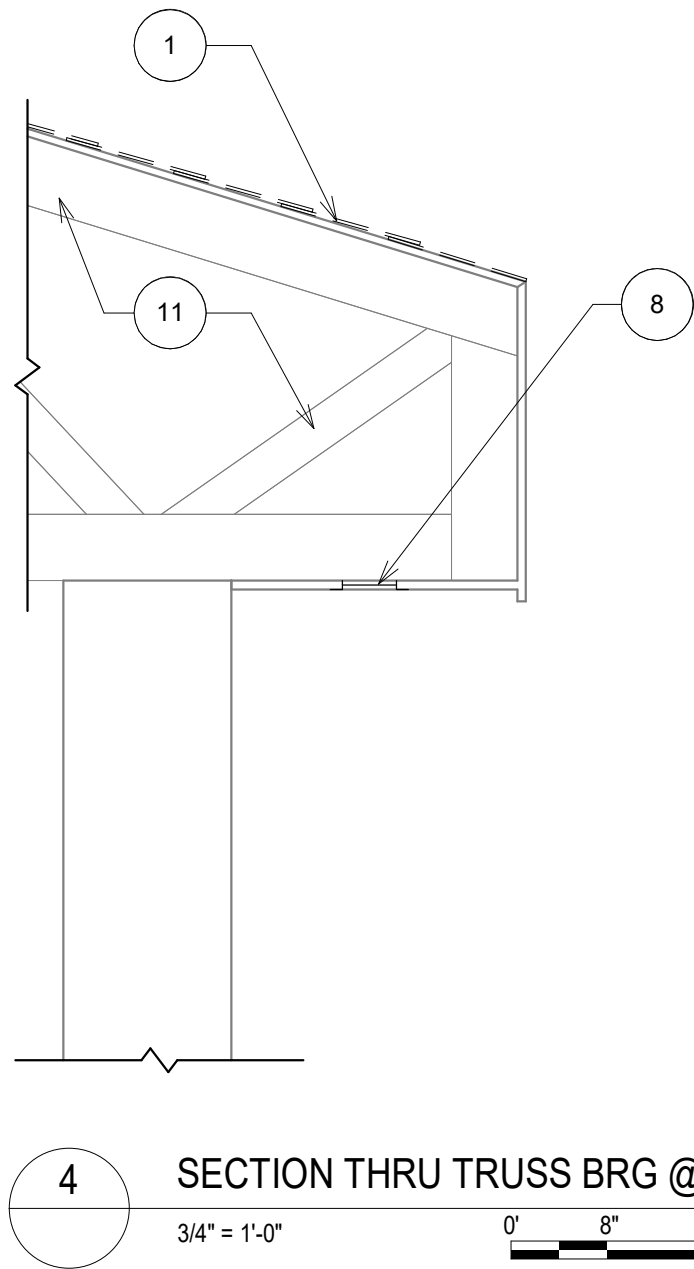
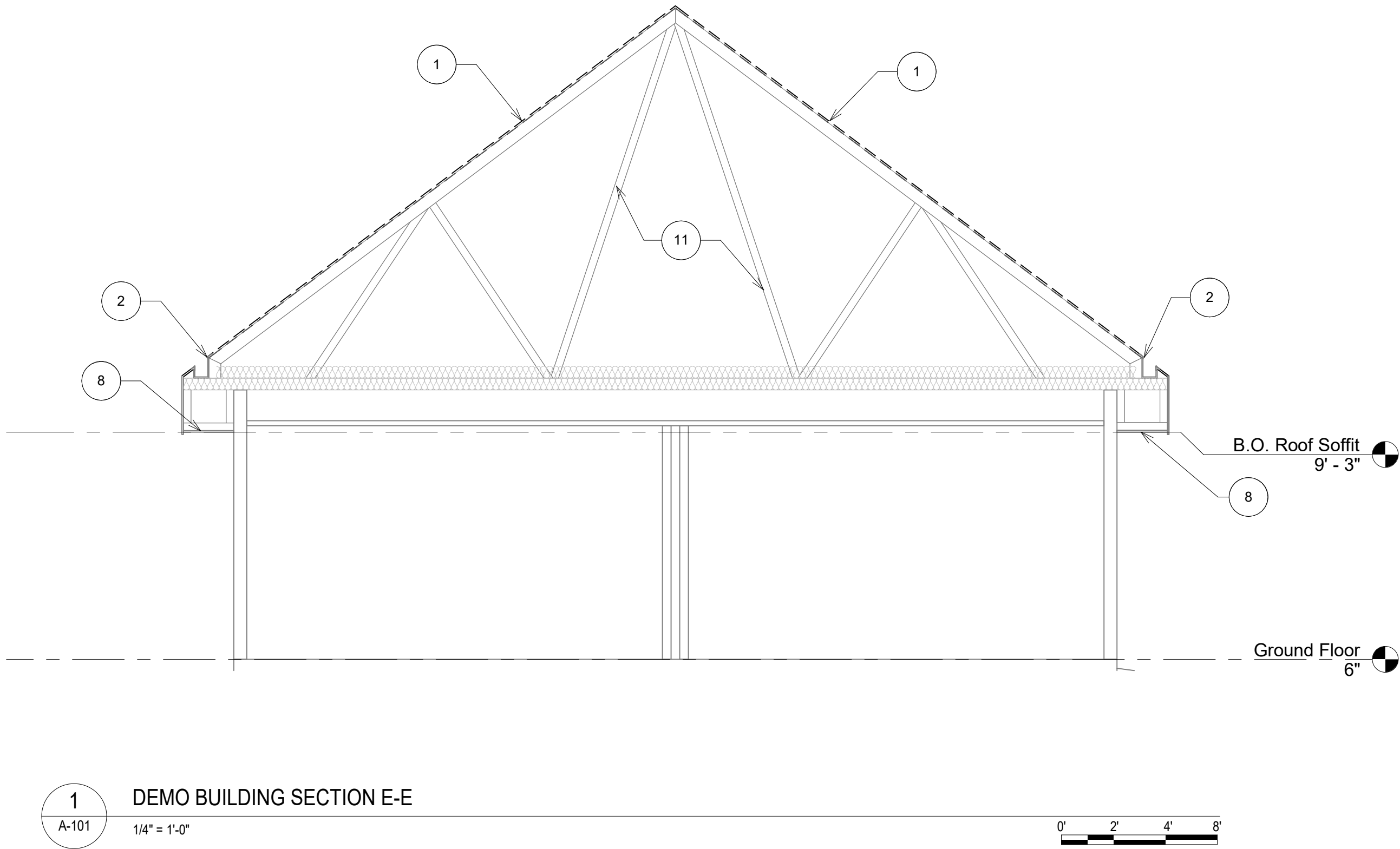
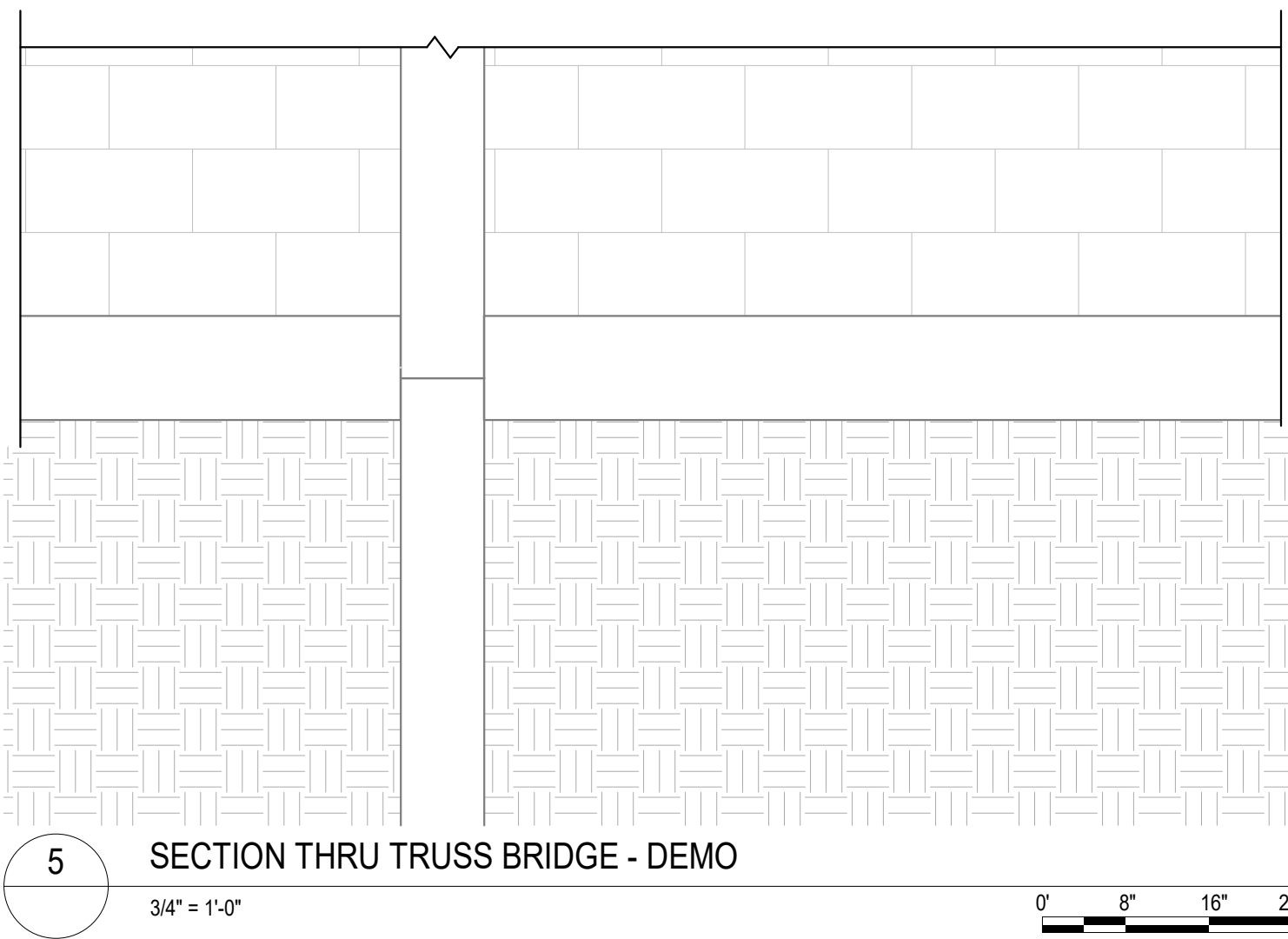
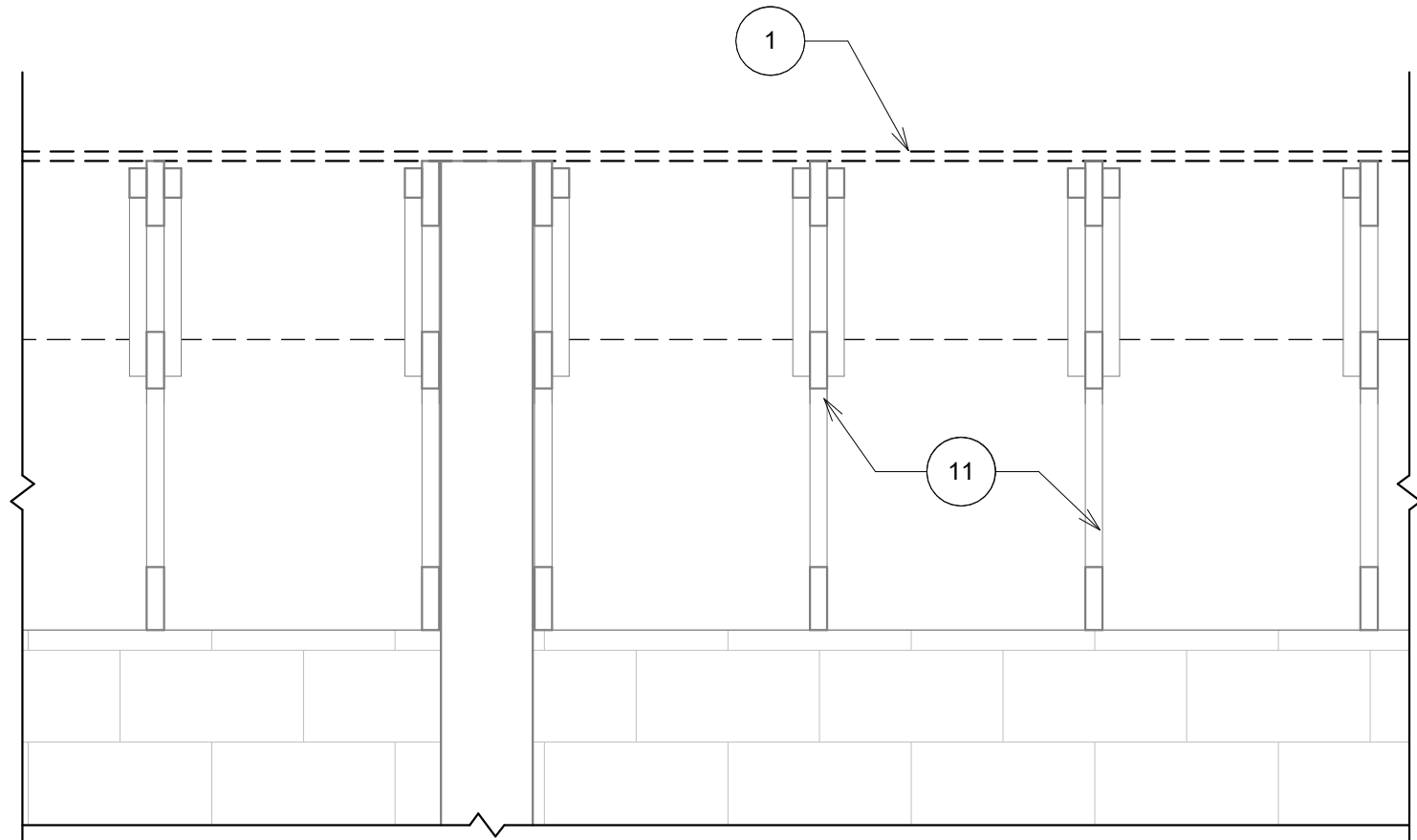
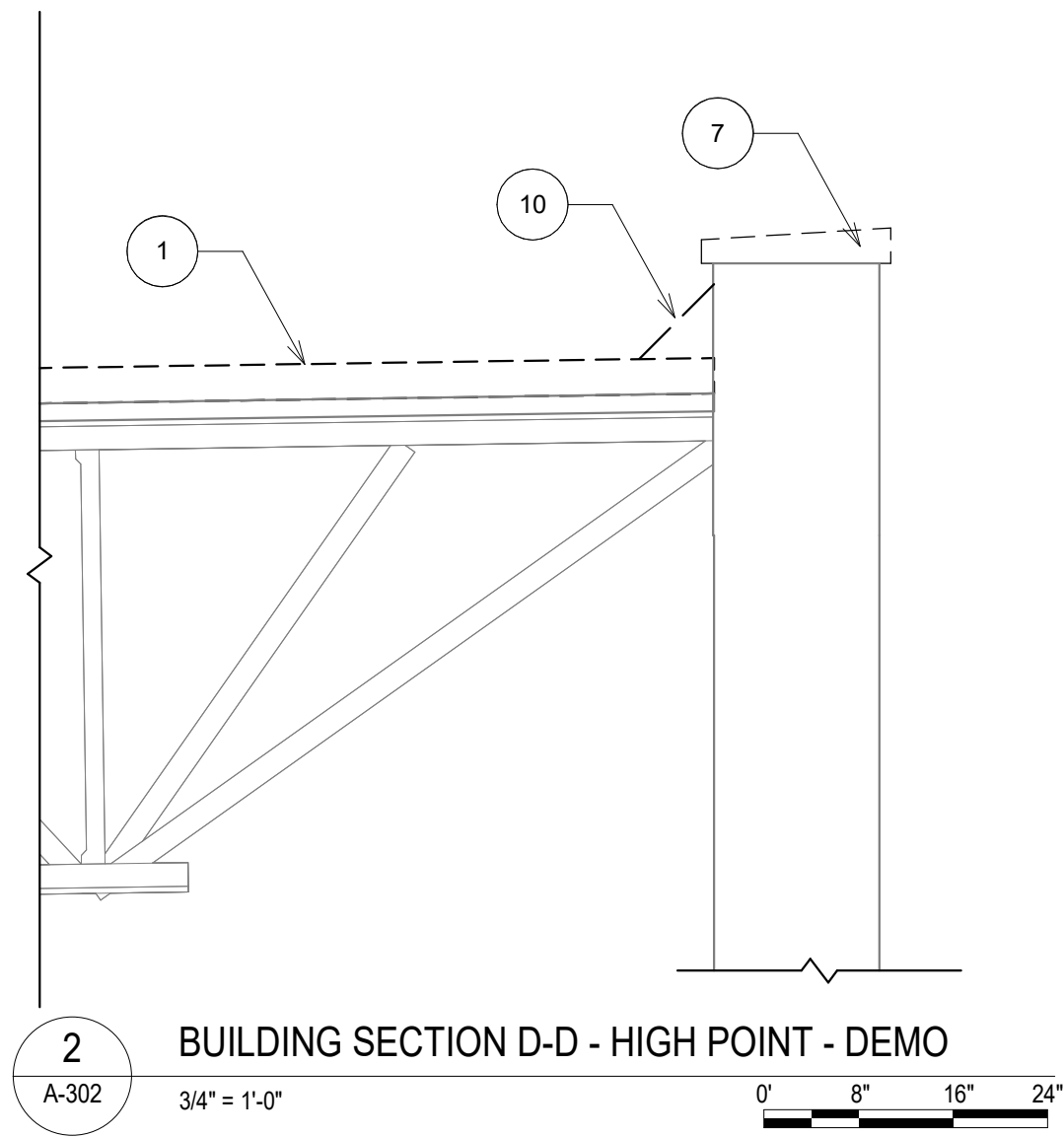
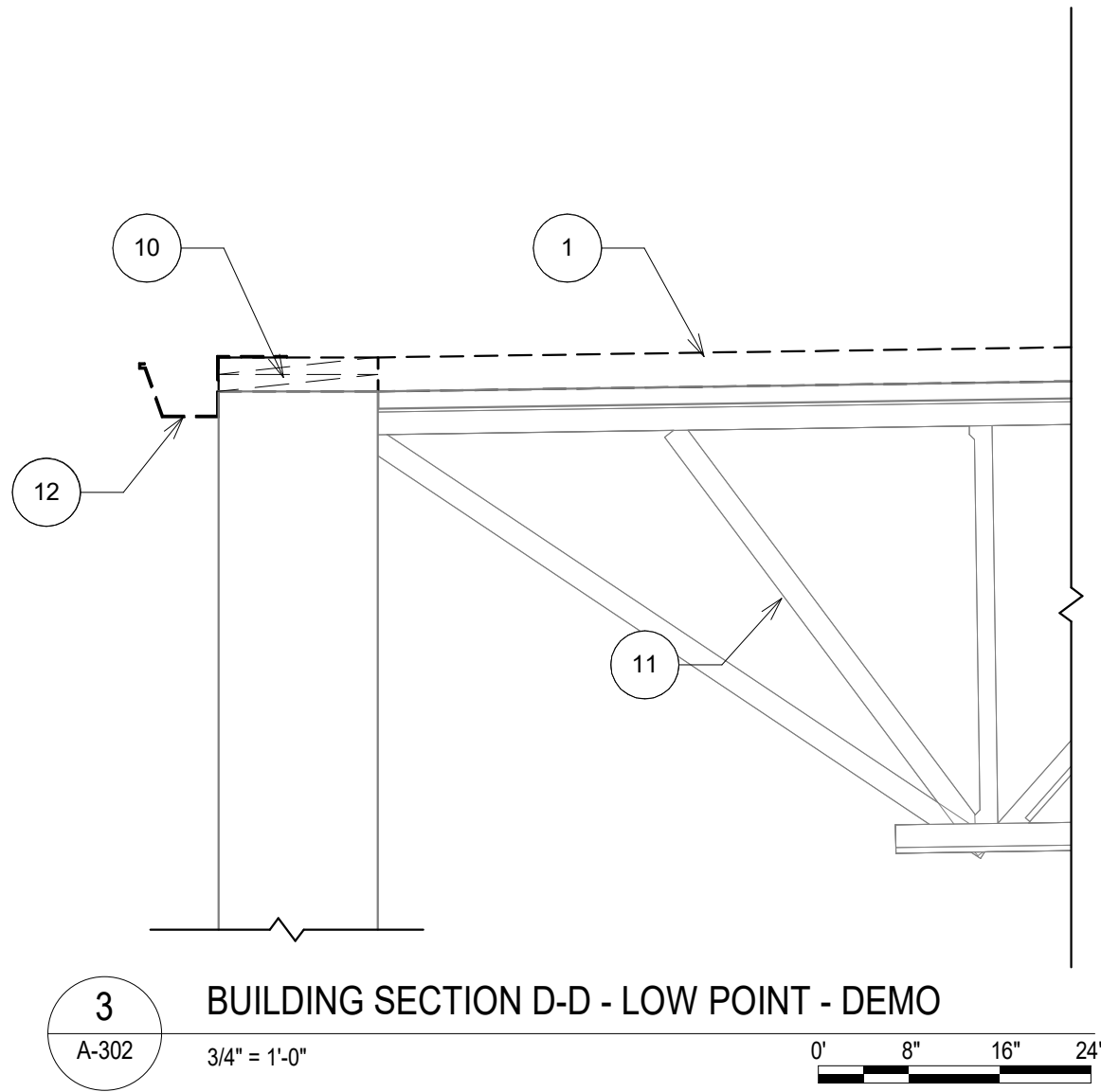
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NPD

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5060

DATE
8/14/2024

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A-302

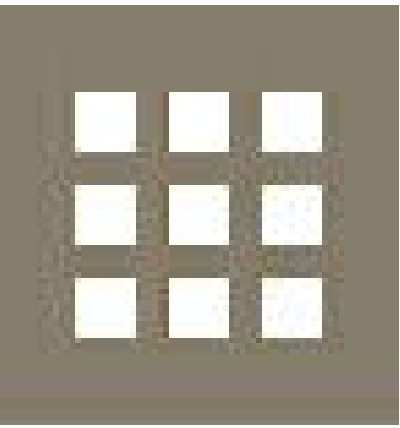


DEMOLITION NOTES	
Note #	NOTE
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REFER TO PLANS AND ELEVATIONS FOR NOTES NOT SHOWN ON SECTIONS

GRAPHIC LEGEND - DEMOLITION

	EXISTING TO REMAIN
	DEMOLITION WORK



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DEMO BUILDING SECTIONS
AND DETAILS 3 OF 3


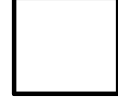

SCALE	AS NOTED
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DESIGNED BY	NPD
PROJECT NO.	5060
DATE	8/14/2024

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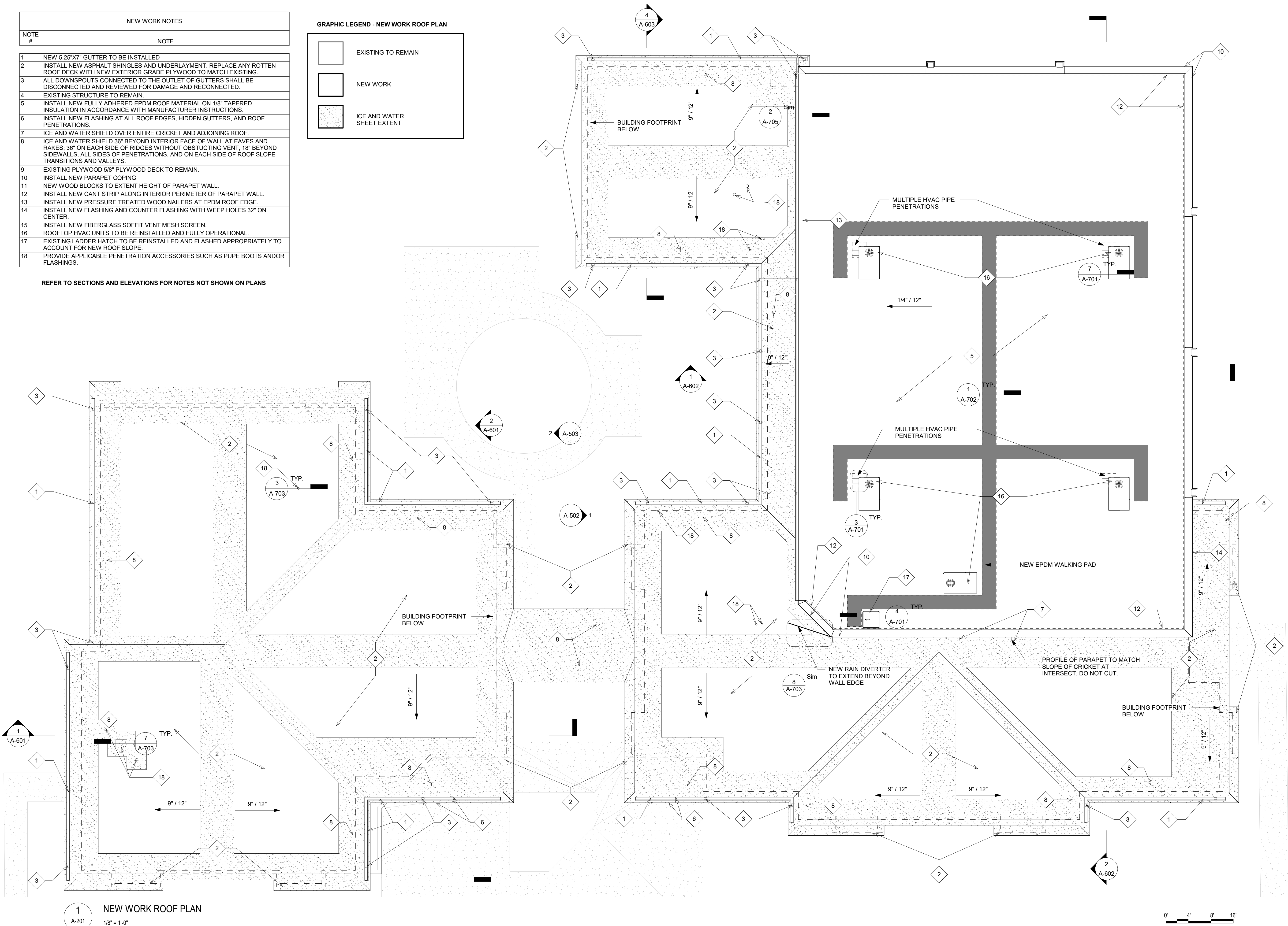
A-303

NEW WORK NOTES	
NOTE #	NOTE
1	NEW 5.25"x7" GUTTER TO BE INSTALLED
2	INSTALL NEW ASPHALT SHINGLES AND UNDERLAYMENT. REPLACE ANY ROTTEN ROOF DECK WITH NEW EXTERIOR GRADE PLYWOOD TO MATCH EXISTING.
3	ALL DOWNSPOUTS CONNECTED TO THE OUTLET OF GUTTERS SHALL BE DISCONNECTED AND REVIEWED FOR DAMAGE AND RECONNECTED.
4	EXISTING STRUCTURE TO REMAIN.
5	INSTALL NEW FULLY ADHERED EPDM ROOF MATERIAL ON 1/8" TAPERED INSULATION IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.
6	INSTALL NEW FLASHING AT ALL ROOF EDGES, HIDDEN GUTTERS, AND ROOF PENETRATIONS.
7	ICE AND WATER SHIELD OVER ENTIRE CRICKET AND ADJOINING ROOF.
8	ICE AND WATER SHIELD 36" BEYOND INTERIOR FACE OF WALL AT EAVES AND RAKES; 36" ON EACH SIDE OF RIDGES WITHOUT OBSTRUCTING VENT, 18" BEYOND SIDEWALLS, ALL SIDES OF PENETRATIONS, AND ON EACH SIDE OF ROOF SLOPE TRANSITIONS AND VALLEYS.
9	EXISTING PLYWOOD 5/8" PLYWOOD DECK TO REMAIN.
10	INSTALL NEW PARAPET COPING
11	NEW WOOD BLOCKS TO EXTENT HEIGHT OF PARAPET WALL.
12	INSTALL NEW CANT STRIP ALONG INTERIOR PERIMETER OF PARAPET WALL.
13	INSTALL NEW PRESSURE TREATED WOOD NAILERS AT EPDM ROOF EDGE.
14	INSTALL NEW FLASHING AND COUNTER FLASHING WITH WEEP HOLES 32" ON CENTER.
15	INSTALL NEW FIBERGLASS SOFFIT VENT MESH SCREEN.
16	ROOFTOP HVAC UNITS TO BE REINSTALLED AND FULLY OPERATIONAL.
17	EXISTING LADDER HATCH TO BE REINSTALLED AND FLASHED APPROPRIATELY TO ACCOUNT FOR NEW ROOF SLOPE.
18	PROVIDE APPLICABLE PENETRATION ACCESSORIES SUCH AS PUPE BOOTS AND/OR FLASHINGS.

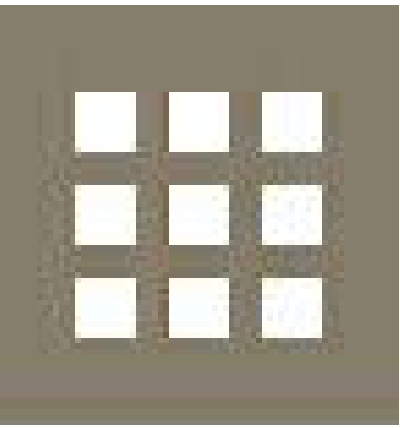
GRAPHIC LEGEND - NEW WORK ROOF PLAN

-  EXISTING TO REMAIN
-  NEW WORK
-  ICE AND WATER SHEET EXTENT

REFER TO SECTIONS AND ELEVATIONS FOR NOTES NOT SHOWN ON PLANS



1
A-201
NEW WORK ROOF PLAN
1/8" = 1'-0"



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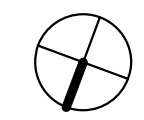
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NEW WORK ROOF PLAN

SCALE
AS NOTED



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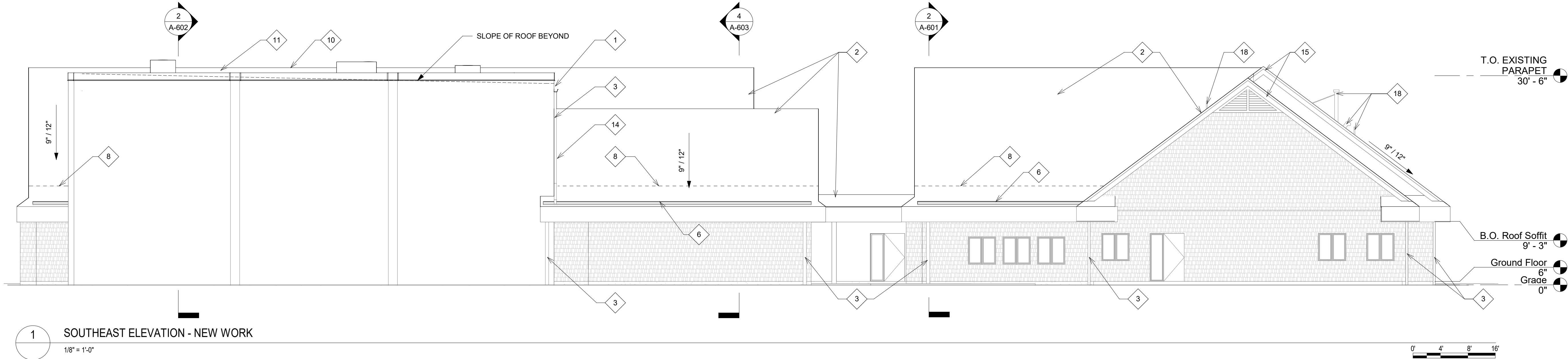
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NEW WORK OVERALL
ELEVATIONS

SCALE	AS NOTED
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PROJECT NO.	5060
DATE	8/14/2024

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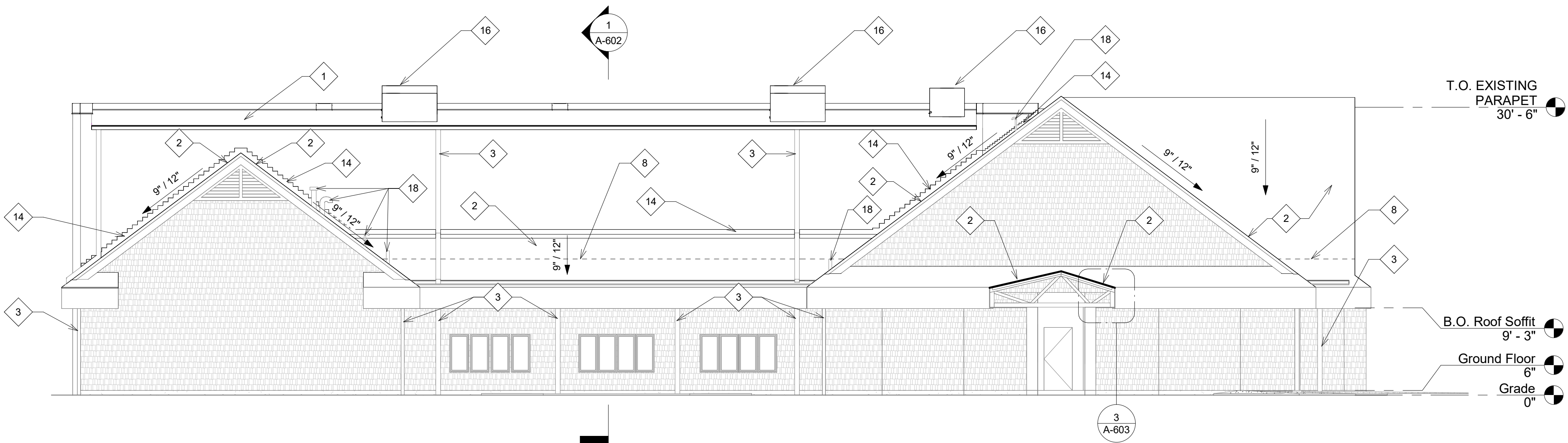
A-501

NEW WORK NOTES	
NOTE #	NOTE
1	NEW 5.25"x7" GUTTER TO BE INSTALLED
2	INSTALL NEW ASPHALT SHINGLES AND UNDERLAYMENT. REPLACE ANY ROTTEN ROOF DECK WITH NEW EXTERIOR GRADE PLYWOOD TO MATCH EXISTING.
3	ALL DOWNSPOUTS CONNECTED TO THE OUTLET OF GUTTERS SHALL BE DISCONNECTED AND REVIEWED FOR DAMAGE AND RECONNECTED.
4	EXISTING STRUCTURE TO REMAIN.
5	INSTALL NEW FULLY ADHERED EPDM ROOF MATERIAL ON 1/8" TAPERED INSULATION IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.
6	INSTALL NEW FLASHING AT ALL ROOF EDGES, HIDDEN GUTTERS, AND ROOF PENETRATIONS.
7	ICE AND WATER SHIELD OVER ENTIRE CRICKET AND ADJOINING ROOF.
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18	PROVIDE APPLICABLE PENETRATION ACCESSORIES SUCH AS PUPE BOOTS AND/OR FLASHINGS.

REFER TO PLANS AND SECTIONS FOR NOTES NOT SHOWN ON ELEVATIONS

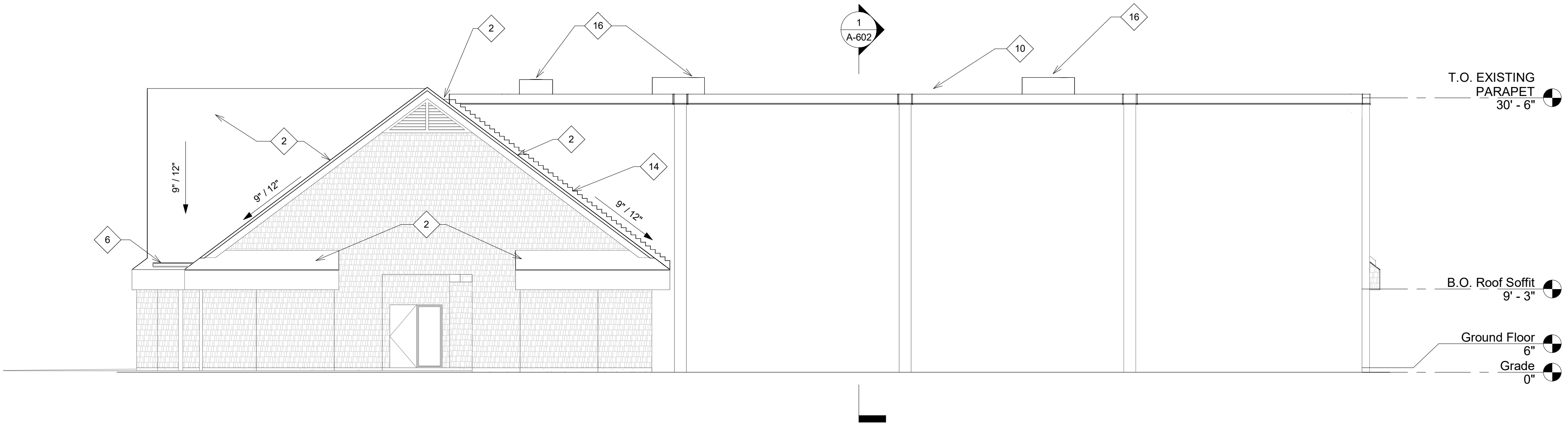
GRAPHIC LEGEND - NEW WORK

	EXISTING TO REMAIN
	NEW WORK



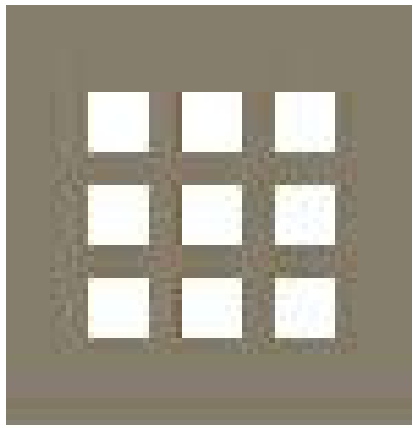
1
A-401
NORTHEAST ELEVATION (BLDG. A) - NEW WORK
1/8" = 1'-0"

0' 4' 8' 16'



2
SOUTHWEST ELEVATION (BLDG. A) - NEW WORK
1/8" = 1'-0"

0' 4' 8' 16'



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NEW WORK BUILDING A
ELEVATIONS

SCALE
AS NOTED

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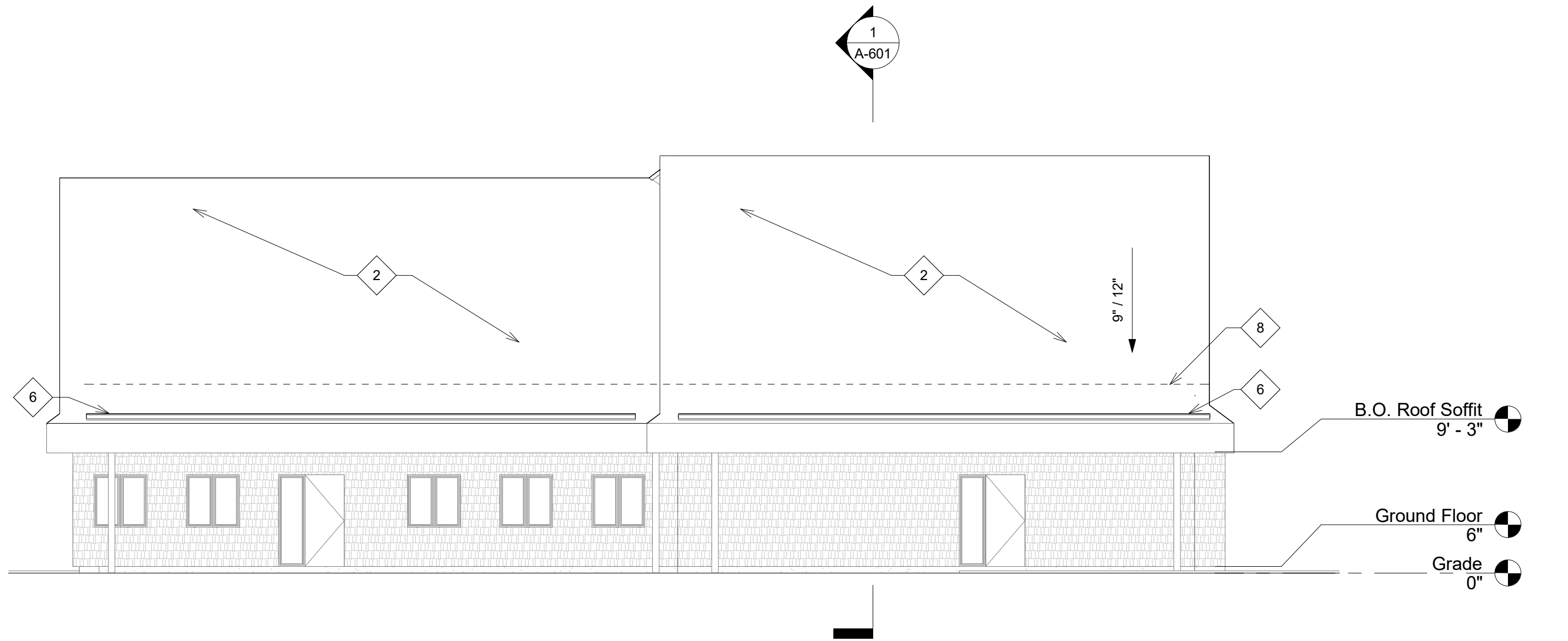
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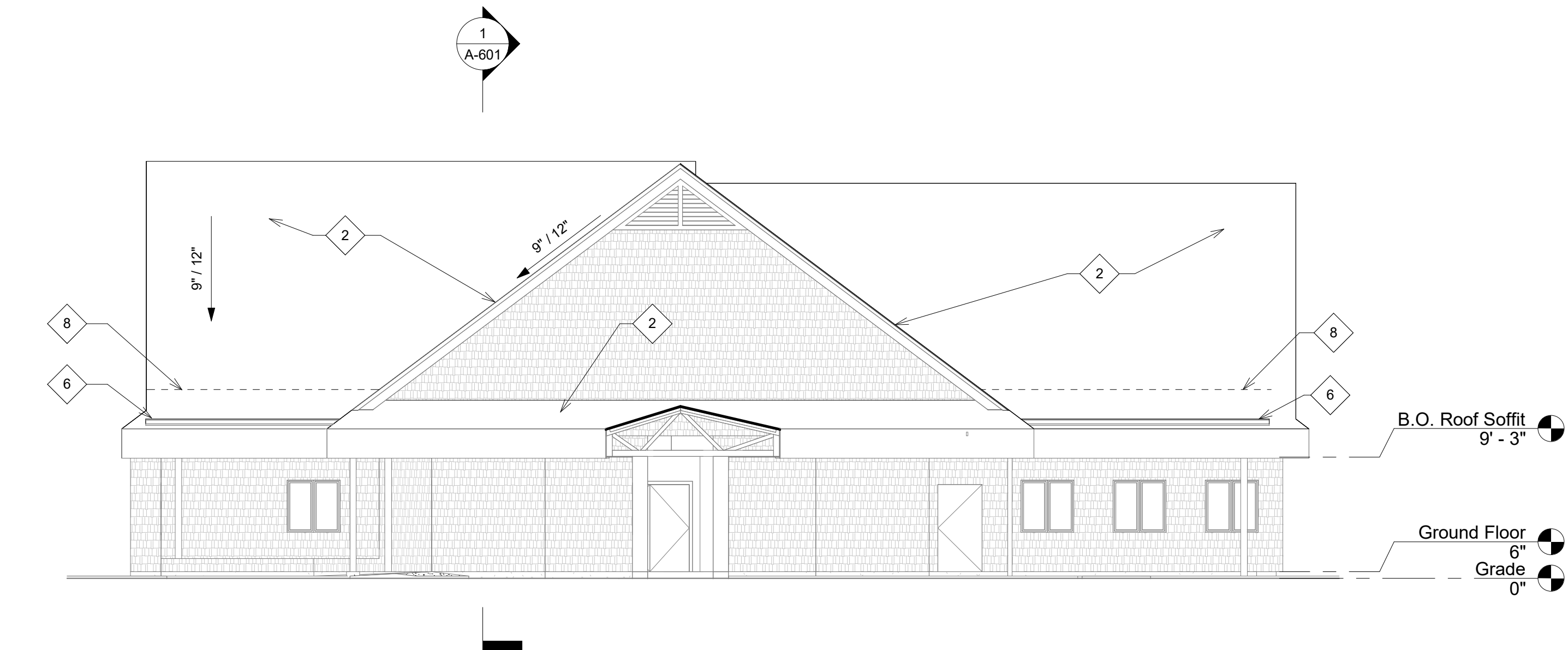
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A-502



1 NORTHEAST ELEVATION (BLDG. B) - NEW WORK
1/8" = 1'-0"

0' 4' 8' 16'



2 SOUTHWEST ELEVATION (BLDG. B) - NEW WORK
1/8" = 1'-0"

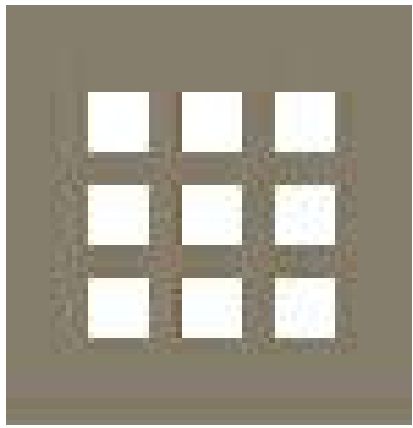
0' 4' 8' 16'

NEW WORK NOTES	
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REFER TO PLANS AND SECTIONS FOR NOTES NOT SHOWN ON ELEVATIONS

GRAPHIC LEGEND - NEW WORK

	EXISTING TO REMAIN
	NEW WORK



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NEW WORK BUILDING B
ELEVATIONS

SCALE:
AS NOTED

CHECKED BY:
JG

DRAWN BY:
BG

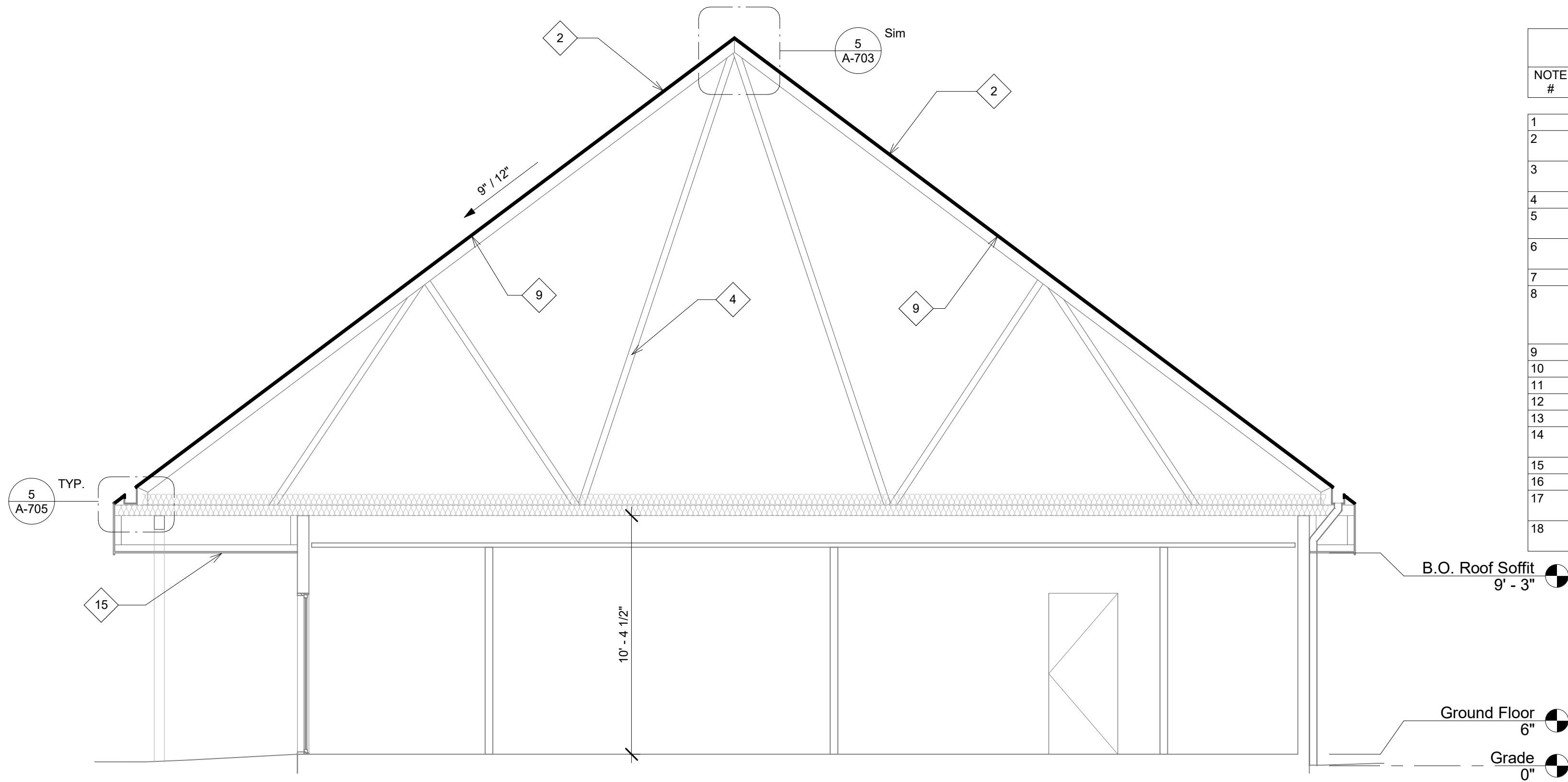
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PROJECT NO:
5060

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8/14/2024

DRAWING NO.

A-503



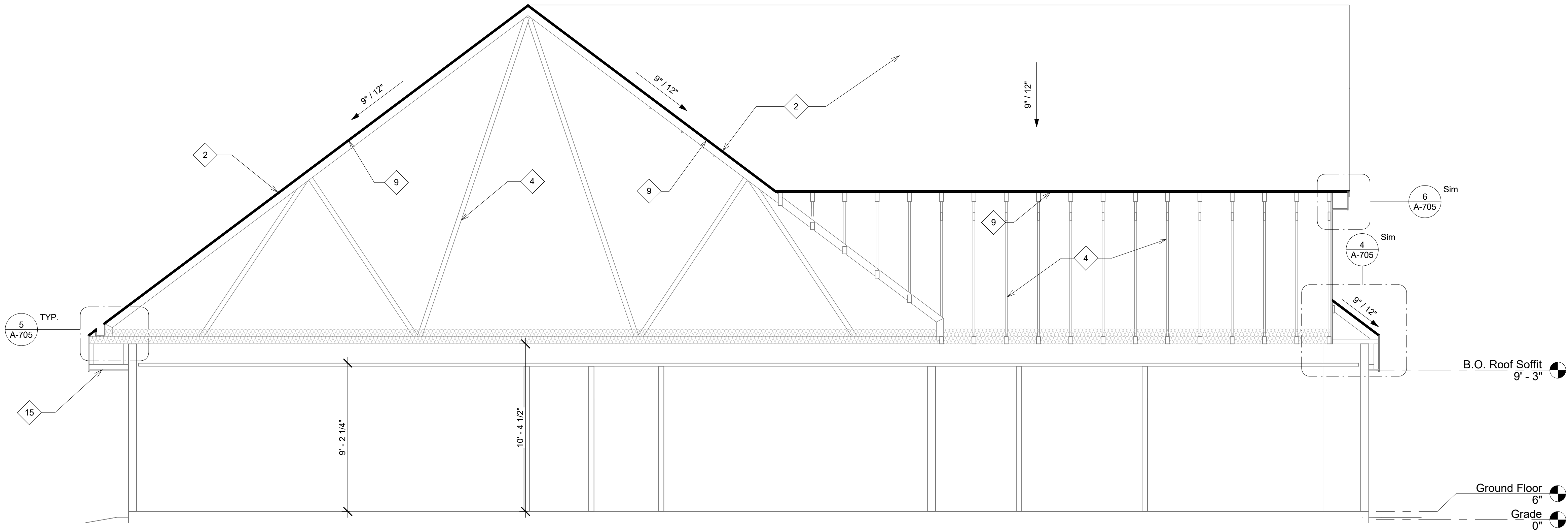
NEW WORK NOTES	
NOTE #	NOTE
1	NEW 5.25"x7" GUTTER TO BE INSTALLED
2	INSTALL NEW ASPHALT SHINGLES AND UNDERLAYMENT. REPLACE ANY ROTTEN ROOF DECK WITH NEW EXTERIOR GRADE PLYWOOD TO MATCH EXISTING.
3	ALL DOWNSPOUTS CONNECTED TO THE OUTLET OF GUTTERS SHALL BE DISCONNECTED AND REVIEWED FOR DAMAGE AND RECONNECTED.
4	EXISTING STRUCTURE TO REMAIN.
5	INSTALL NEW FULLY ADHERED EPDM ROOF MATERIAL ON 1/8" TAPERED INSULATION IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.
6	INSTALL NEW FLASHING AT ALL ROOF EDGES, HIDDEN GUTTERS, AND ROOF PENETRATIONS.
7	ICE AND WATER SHIELD OVER ENTIRE CRICKET AND ADJOINING ROOF.
8	ICE AND WATER SHIELD 36" BEYOND INTERIOR FACE OF WALL AT EAVES AND RAKES, 36" ON EACH SIDE OF RIDGES WITHOUT OBSTRUCTING VENT, 18" BEYOND SIDEWALLS, ALL SIDES OF PENETRATIONS, AND ON EACH SIDE OF ROOF SLOPE TRANSITIONS AND VALLEYS.
9	EXISTING PLYWOOD 5/8" PLYWOOD DECK TO REMAIN.
10	INSTALL NEW PARAPET COPING
11	NEW WOOD BLOCKS TO EXTENT HEIGHT OF PARAPET WALL.
12	INSTALL NEW CANT STRIP ALONG INTERIOR PERIMETER OF PARAPET WALL.
13	INSTALL NEW PRESSURE TREATED WOOD NAILERS AT EPDM ROOF EDGE.
14	INSTALL NEW FLASHING AND COUNTER FLASHING WITH WEEP HOLES 32" ON CENTER.
15	INSTALL NEW FIBERGLASS SOFFIT VENT MESH SCREEN.
16	ROOFTOP HVAC UNITS TO BE REINSTALLED AND FULLY OPERATIONAL.
17	EXISTING LADDER HATCH TO BE REINSTALLED AND FLASHED APPROPRIATELY TO ACCOUNT FOR NEW ROOF SLOPE.
18	PROVIDE APPLICABLE PENETRATION ACCESSORIES SUCH AS PUPE BOOTS AND/OR FLASHINGS.

B.O. Roof Soffit 9' - 3" REFER TO PLANS AND ELEVATIONS FOR NOTES NOT SHOWN ON SECTIONS

GRAPHIC LEGEND - NEW WORK

	EXISTING TO REMAIN
	NEW WORK

2 BUILDING SECTION B-B - NEW WORK
A-401 1/4" = 1'-0"



1 BUILDING SECTION A-A - NEW WORK
A-401 1/4" = 1'-0"



54 CANAL STREET
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TOWN OF FAIRHAVEN

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RECREATIONAL CENTER
ROOF REPLACEMENT

227-229 HUTTLESTON AVE,
FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

NEW WORK BUILDING
SECTIONS AND DETAILS 1
OF 3

SCALE:
AS NOTED

CHECKED BY: JG

DRAWN BY: BG

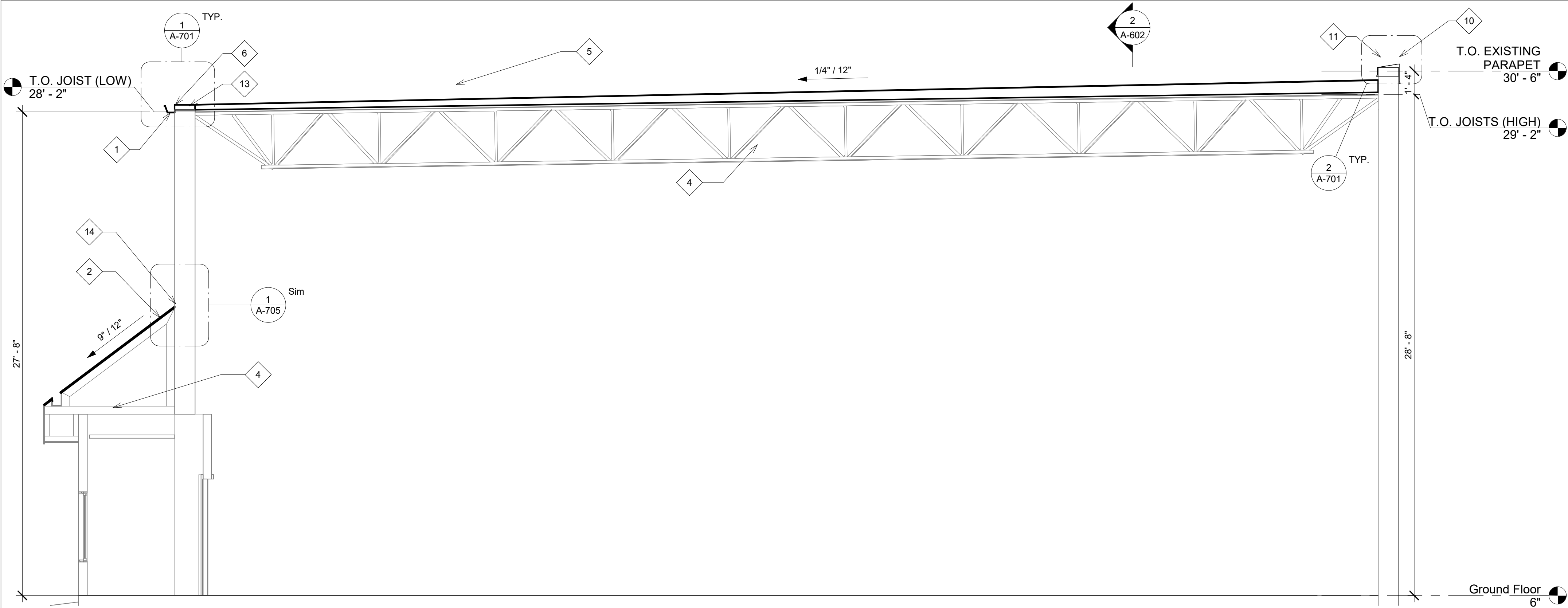
DESIGNED BY: NPD

PROJECT NO: 5060

DATE: 8/14/2024

DRAWING NO:

A-601

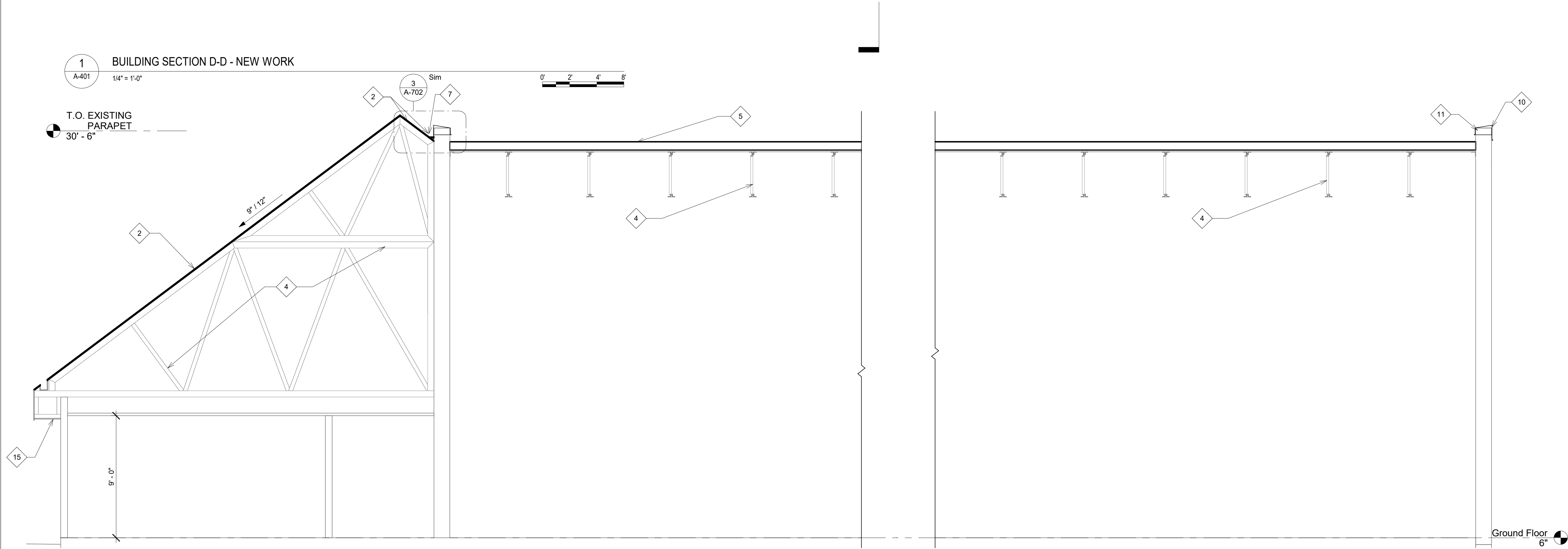


NEW WORK NOTES	
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2	INSTALL NEW ASPHALT SHINGLES AND UNDERLAYMENT. REPLACE ANY ROTTEN ROOF DECK WITH NEW EXTERIOR GRADE PLYWOOD TO MATCH EXISTING.
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REFER TO PLANS AND ELEVATIONS FOR NOTES NOT SHOWN ON SECTIONS

GRAPHIC LEGEND - NEW WORK

- EXISTING TO REMAIN
- NEW WORK



2 BUILDING SECTION C-C - NEW WORK
A-401 1/4" = 1'-0"



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ROOF REPLACEMENT

227-229 HUTTLESTON AVE,
FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

NEW WORK BUILDING
SECTIONS AND DETAILS 2
OF 3

SCALE:
AS NOTED

CHECKED BY: JG

DRAWN BY: BG

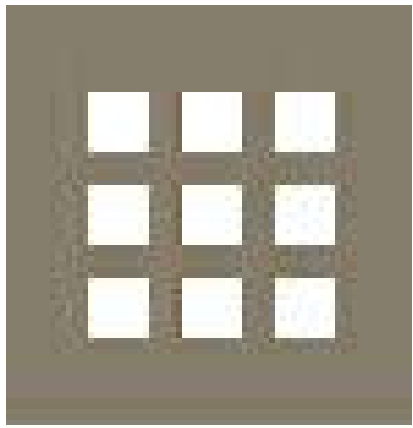
DESIGNED BY: NPD

PROJECT NO: 5060

DATE: 8/14/2024

DRAWING NO:

A-602



DHK
ARCHITECTS

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2ND FLOOR
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TOWN OF FAIRHAVEN

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RECREATIONAL CENTER
ROOF REPLACEMENT

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FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

NEW WORK BUILDING
SECTIONS AND DETAILS 3
OF 3

SCALE:
AS NOTED

CHECKED BY: JG

DRAWN BY: BG

DESIGNED BY: NPD

PROJECT NO: 5060

DATE: 8/14/2024

DRAWING NO:

A-603

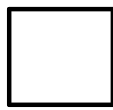
NEW WORK NOTES	
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REFER TO PLANS AND ELEVATIONS FOR NOTES NOT SHOWN ON SECTIONS

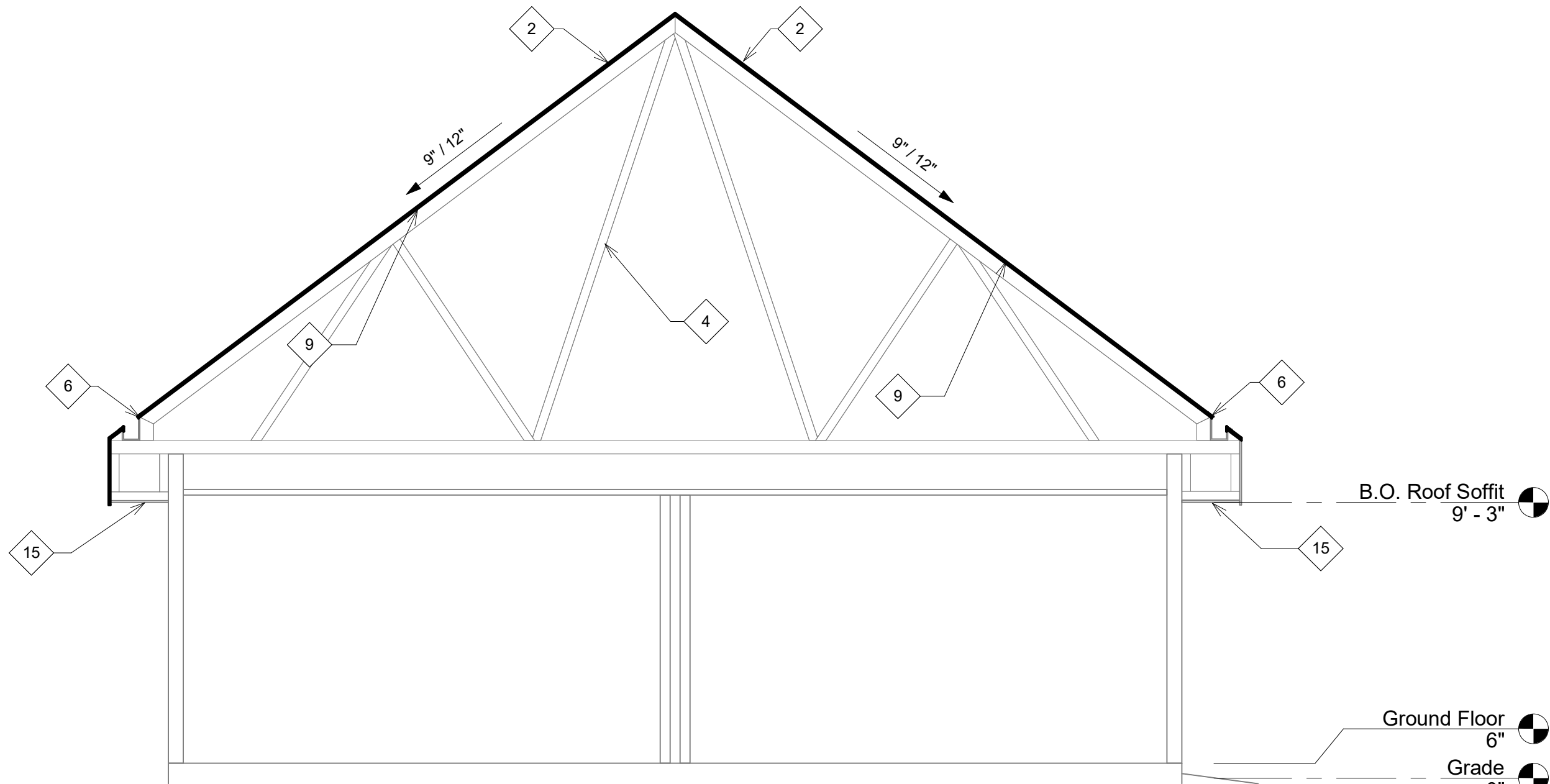
GRAPHIC LEGEND - NEW WORK



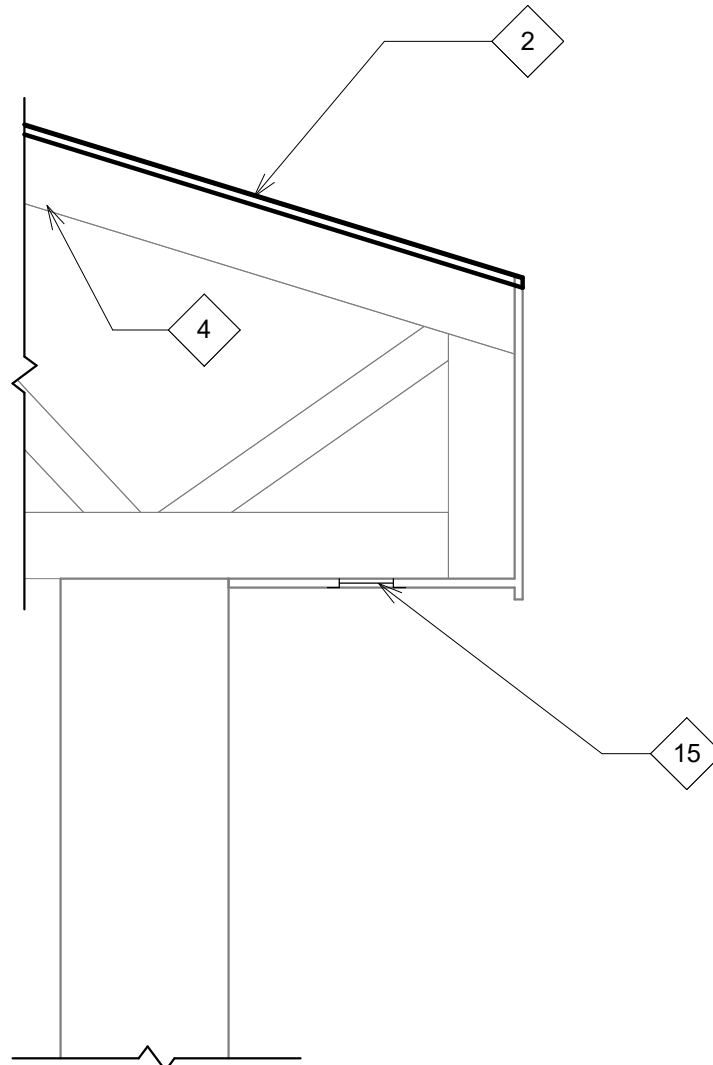
EXISTING TO REMAIN



NEW WORK

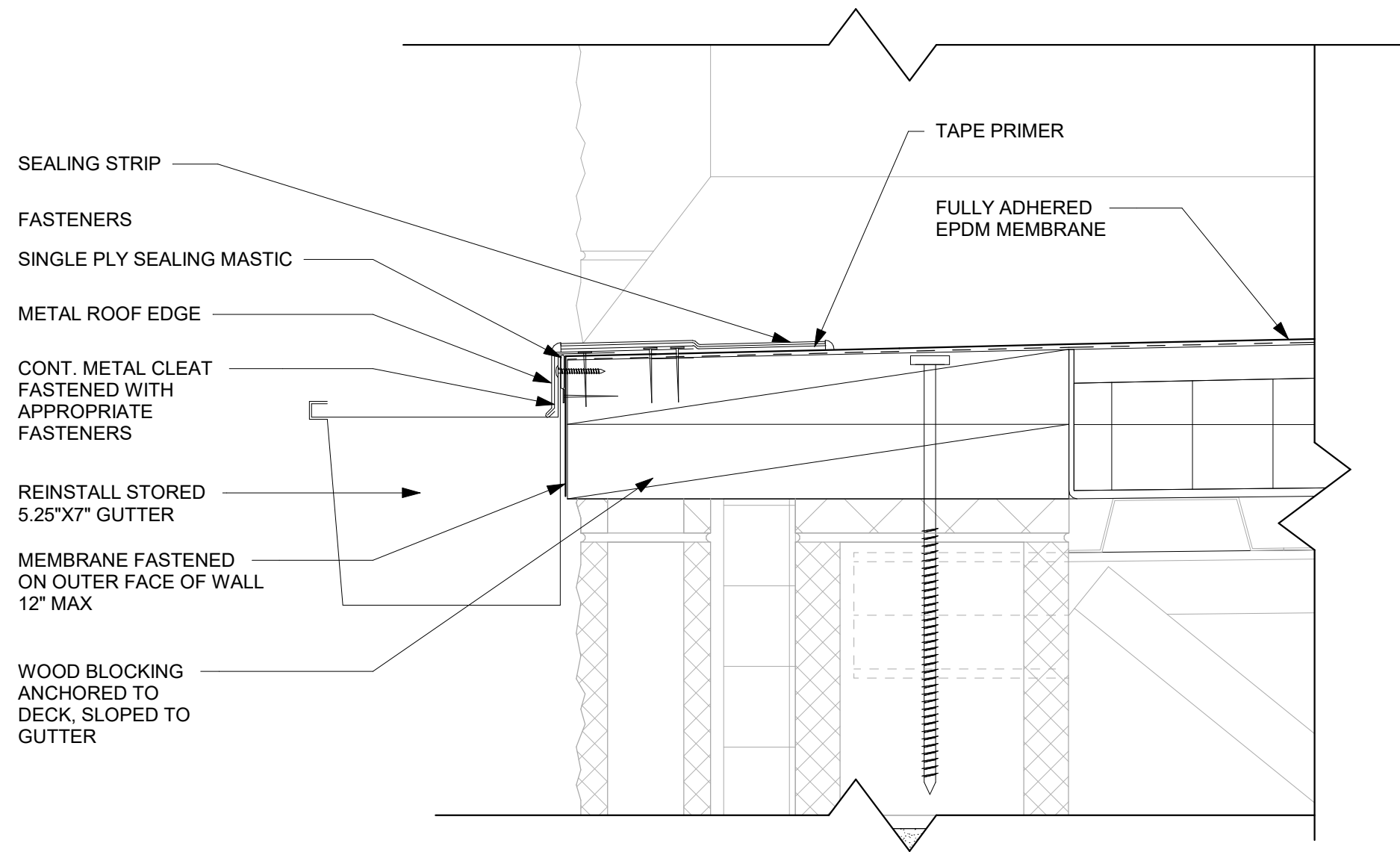


4 BUILDING SECTION E-E - NEW WORK
A-401 1/4" = 1'-0"

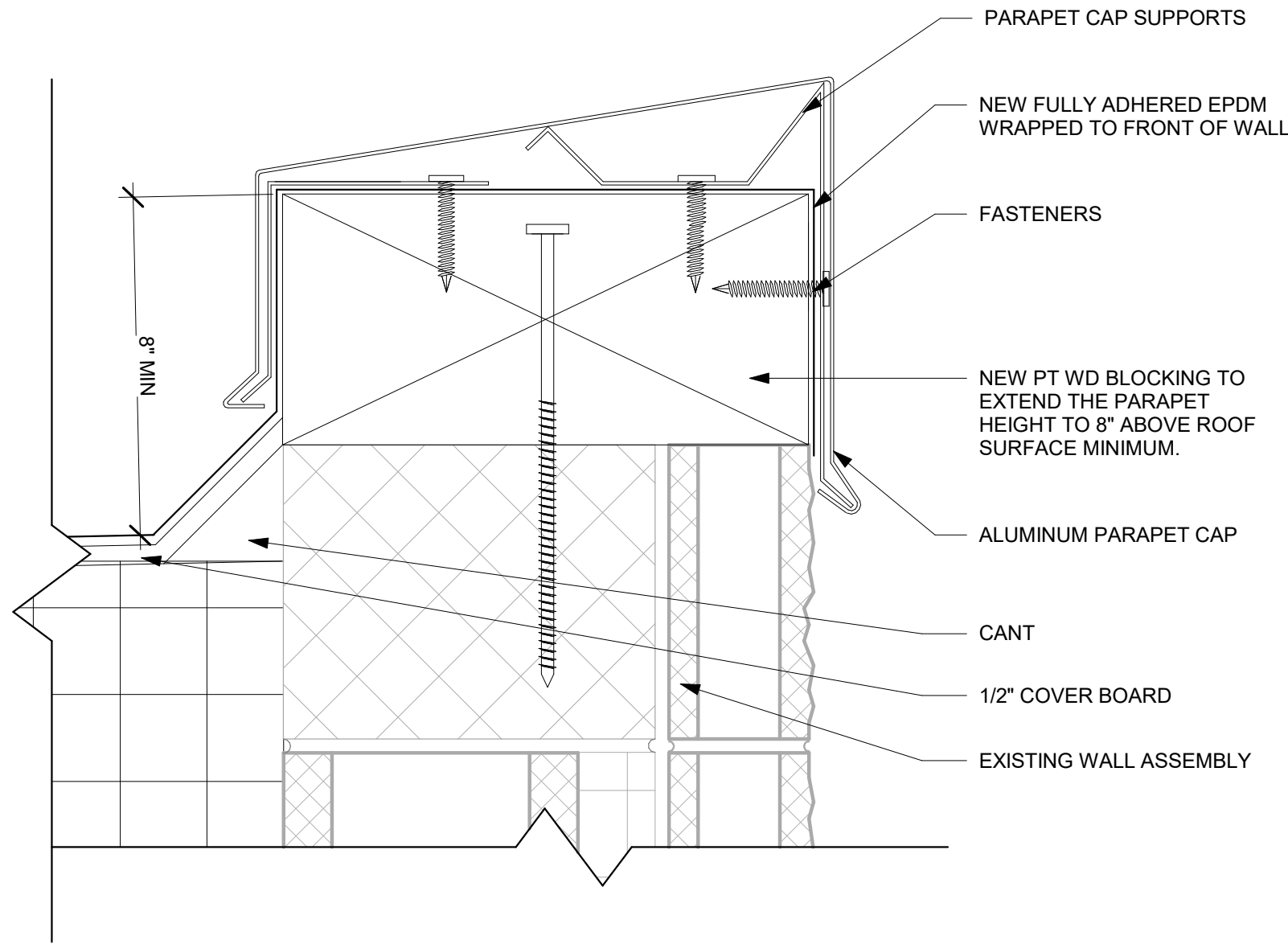


3 SECTION THRU TRUSS BRG @ LINK - NEW WORK
A-502 3/4" = 1'-0"

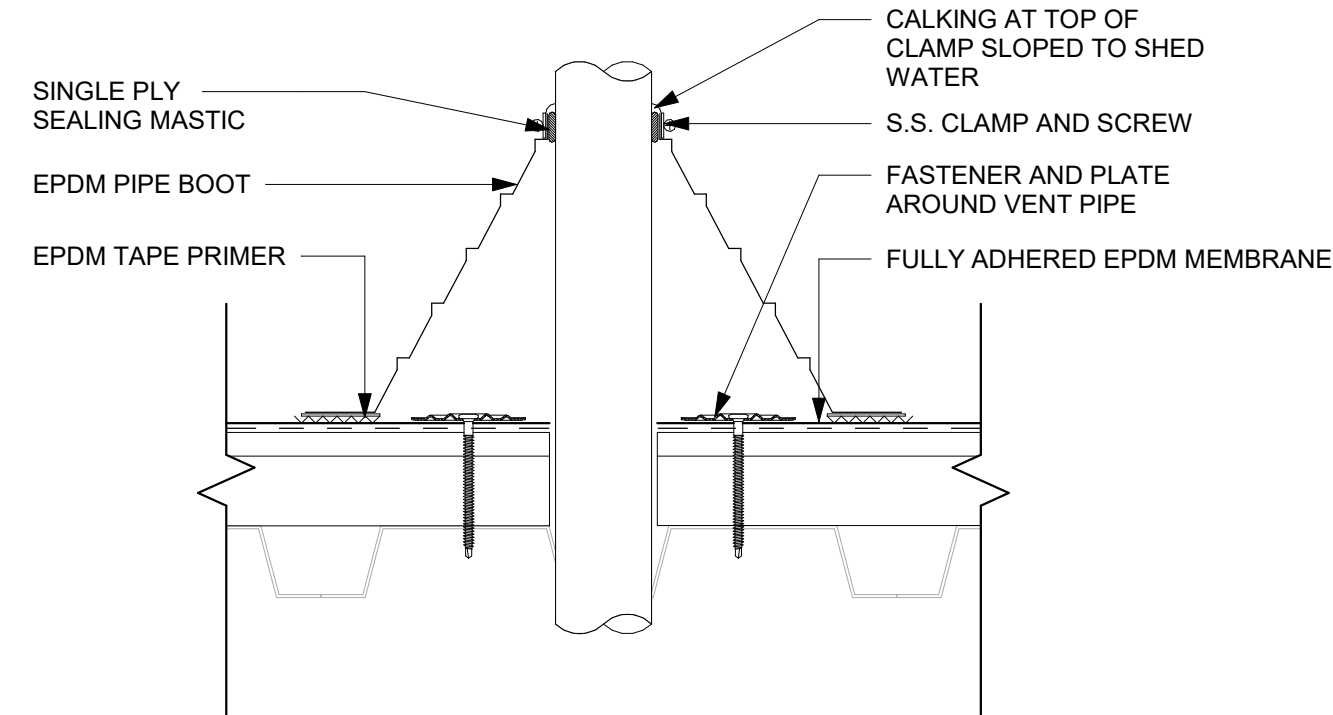




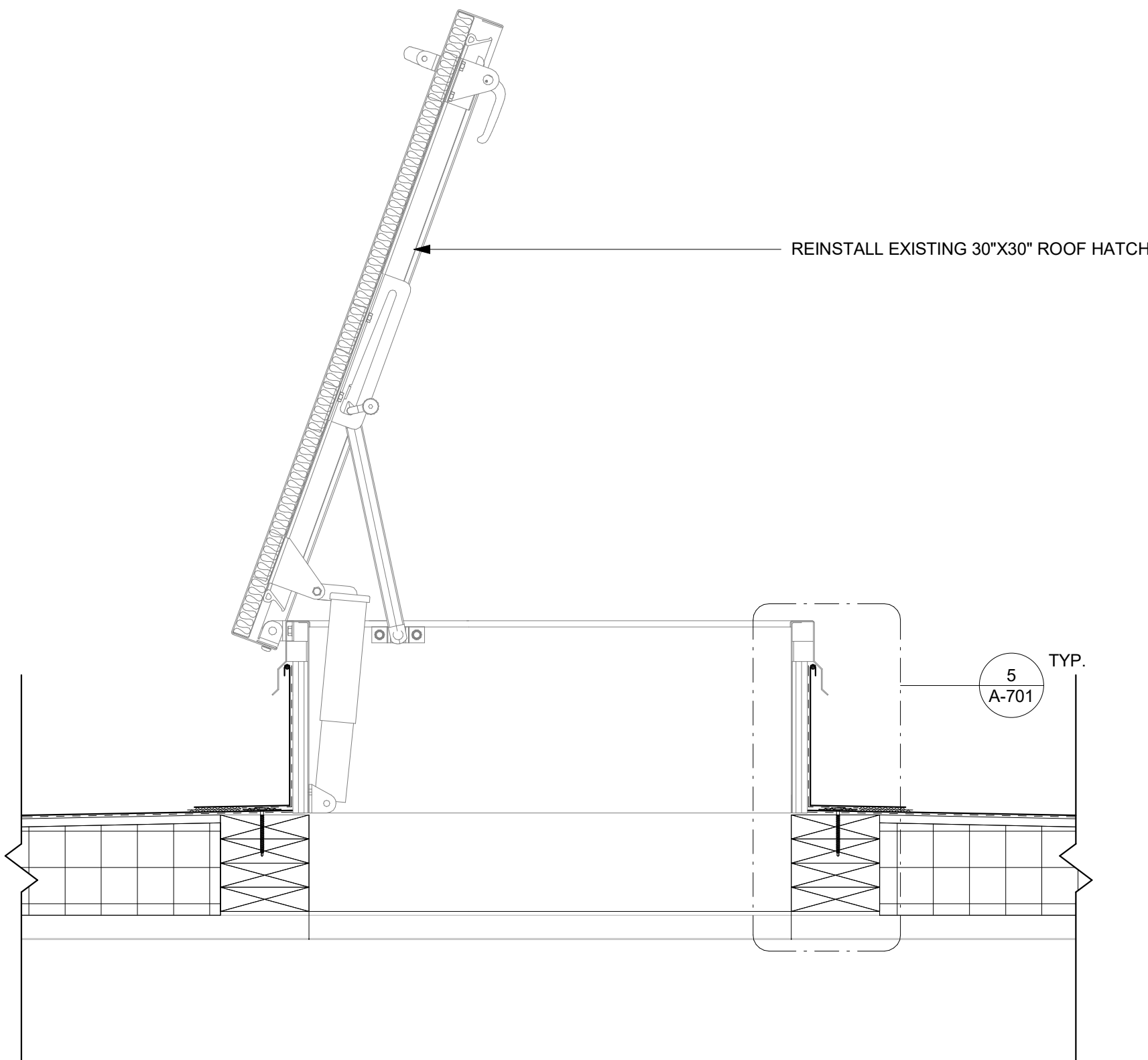
1 TYP. LOW SLOPE ROOF GUTTER FLASHING
3" = 1'-0"



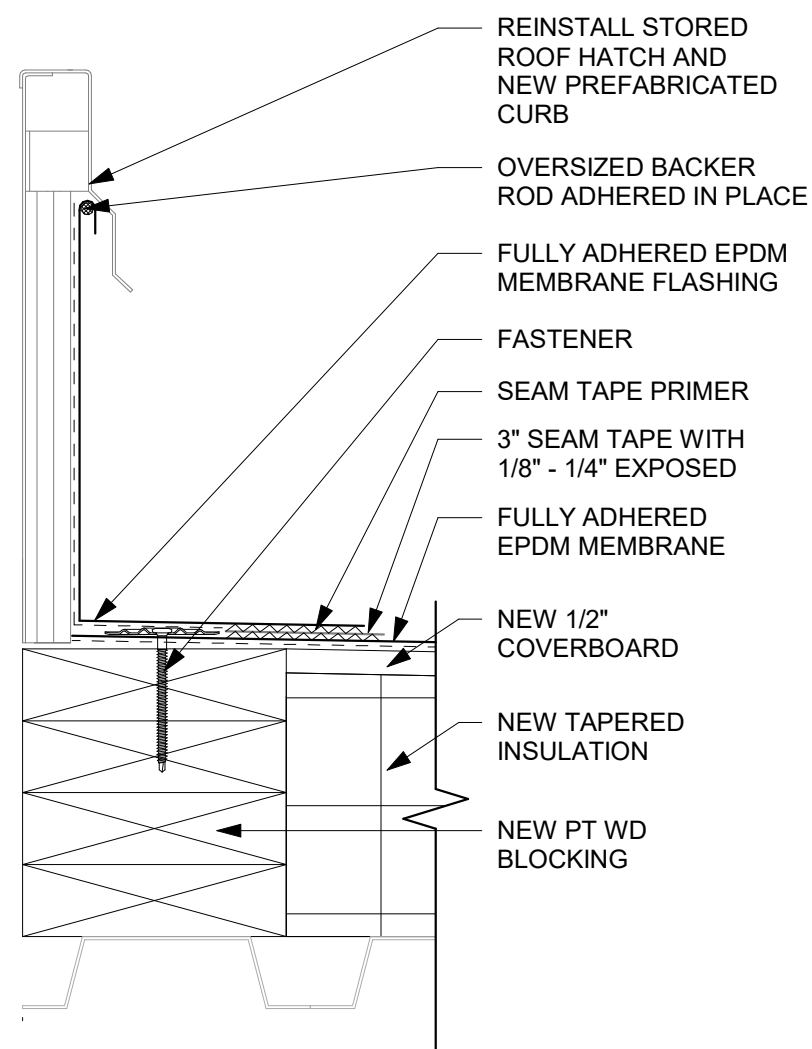
2 TYP. NEW WORK PARAPET FLASHING DETAIL B
3" = 1'-0"



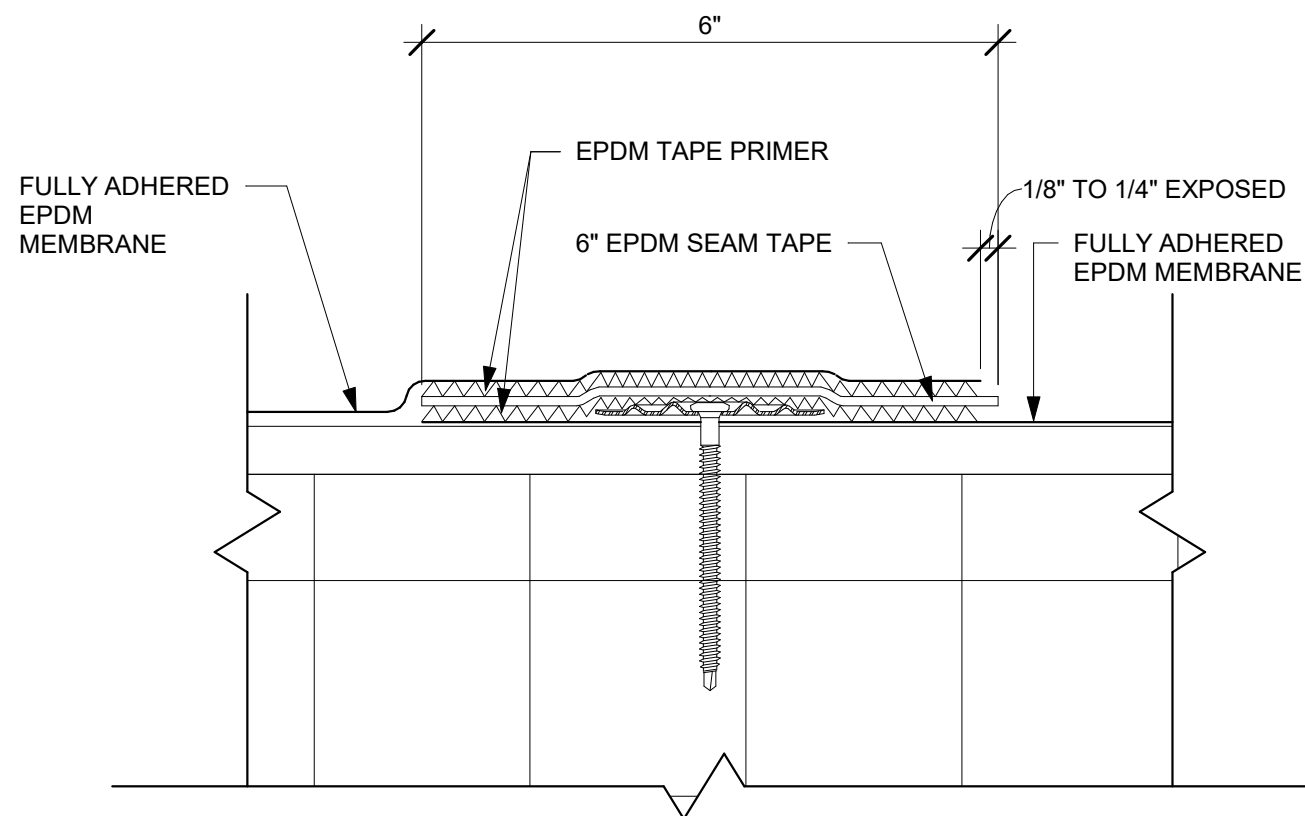
3 TYP. VENT PIPE FLASHING BOOT DETAIL
3" = 1'-0"



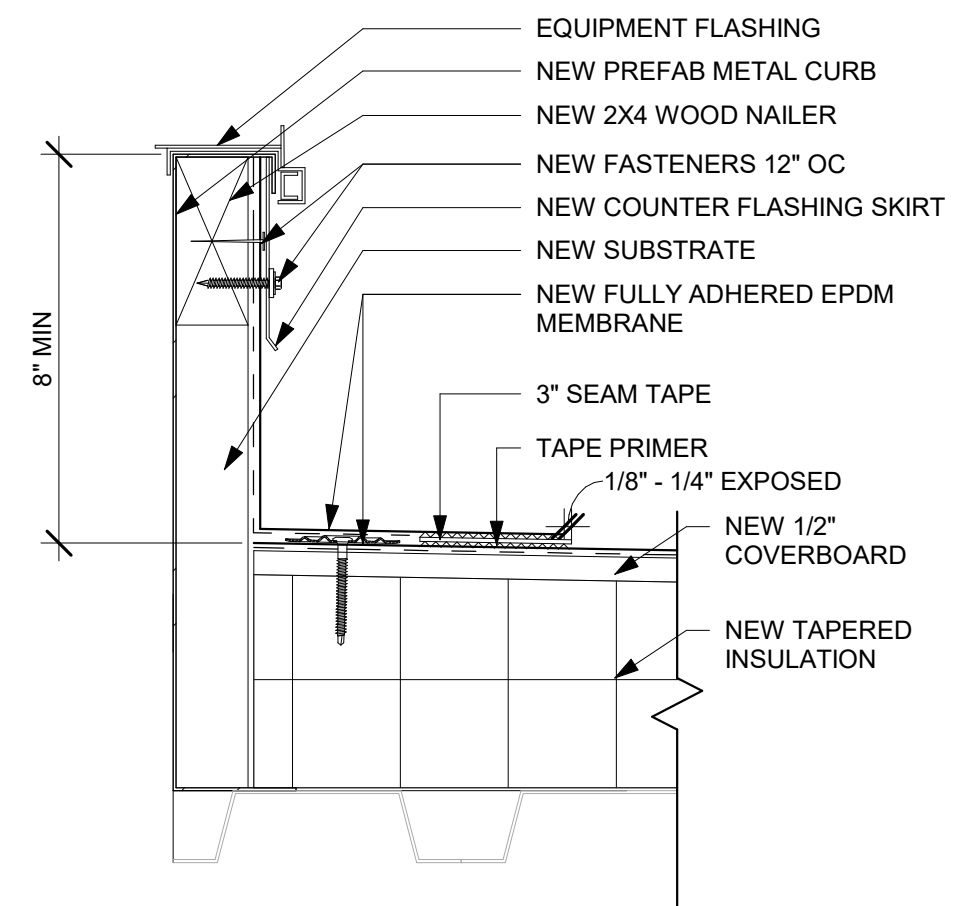
4 TYP. ROOF HATCH SECTION
1 1/2" = 1'-0"



5 ROOF HATCH FLASHING DETAIL
3" = 1'-0"



6 TYP. ROOF MEMBRANE SPLICE DETAIL
6" = 1'-0"



7 TYP. HVAC CURB FLASHING DETAIL
3" = 1'-0"



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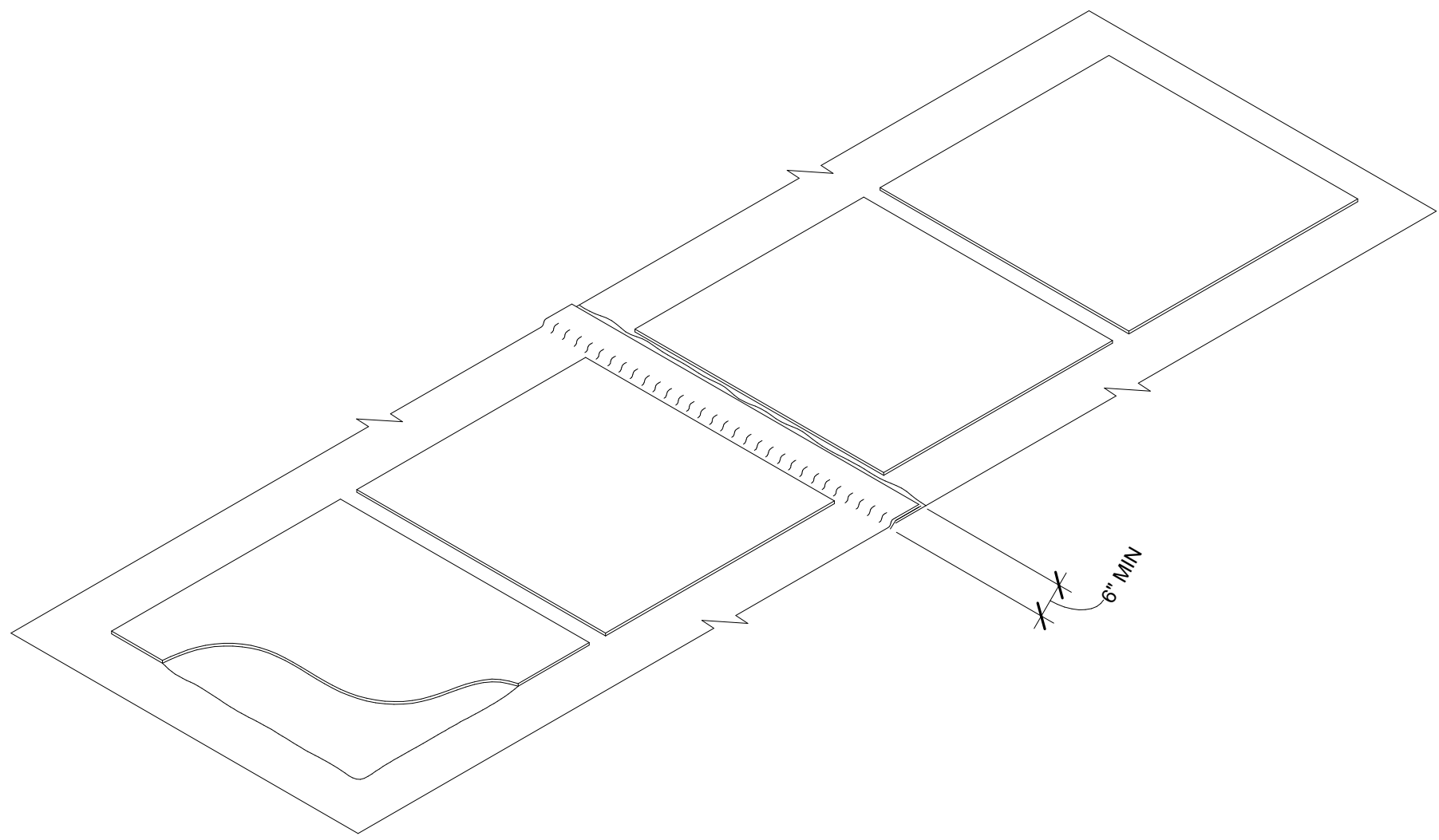
227-229 HUTTLESTON AVE,
FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

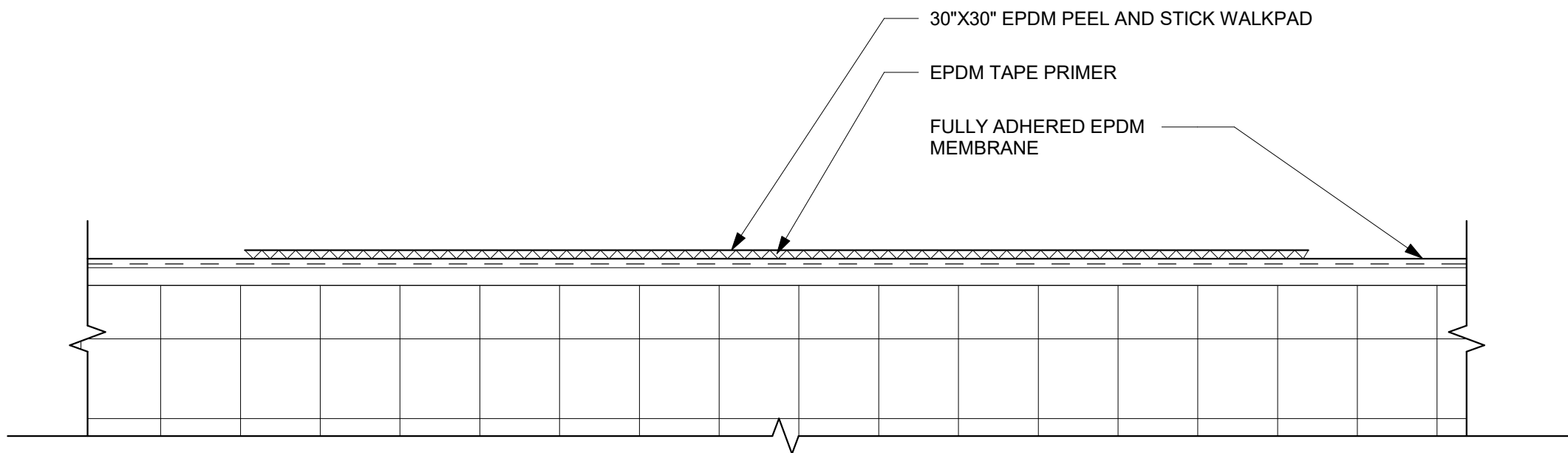
EPDM ROOF DETAILS 1 OF 2

SCALE	AS NOTED
CHECKED BY	JG
DRAWN BY	BG
DESIGNED BY	NPD
PROJECT NO.	5060
DATE	8/14/2024

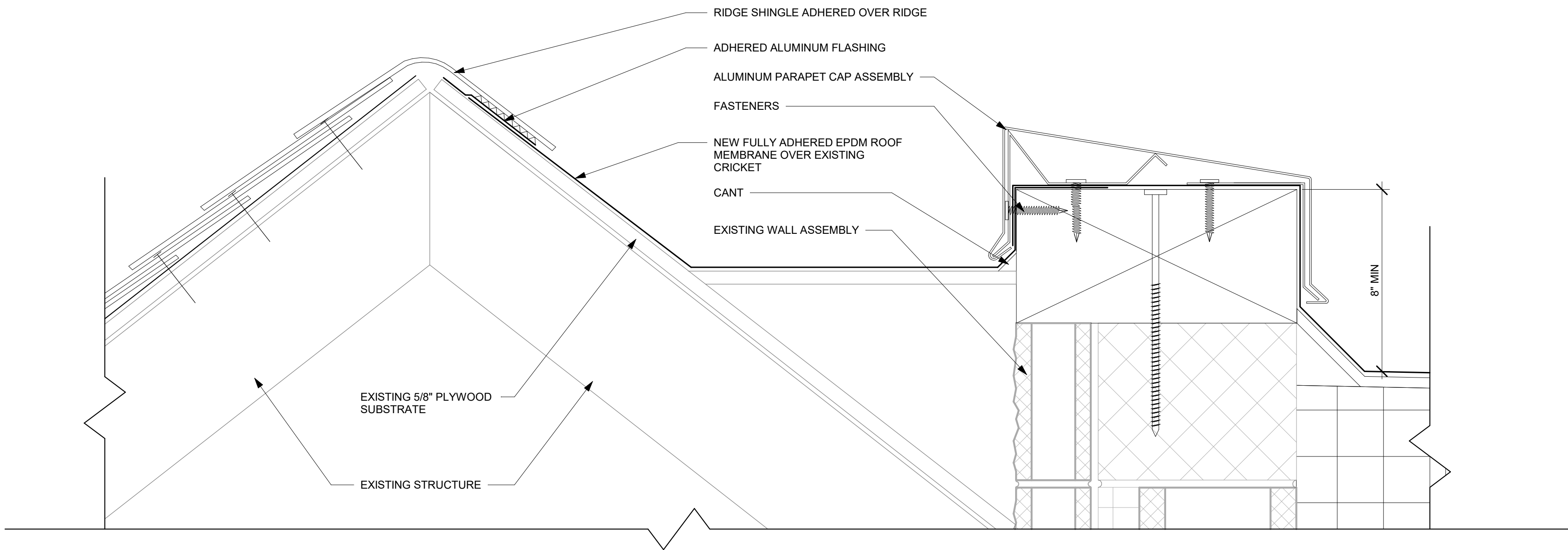
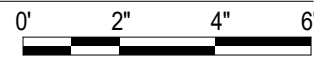
DRAWING NO.
A-701



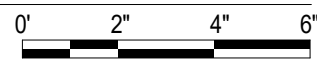
2 TYP. TRAFFIC PAD DETAIL ISO
NTS



1 TYP. TRAFFIC PAD DETAIL
A-401 3" = 1'-0"



3 EPDM - ASPHALT ROOF CONDITION
A-602 3" = 1'-0"



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EPDM ROOF DETAILS 2 OF
2

SCALE:
AS NOTED

CHECKED BY: JG

DRAWN BY: BG

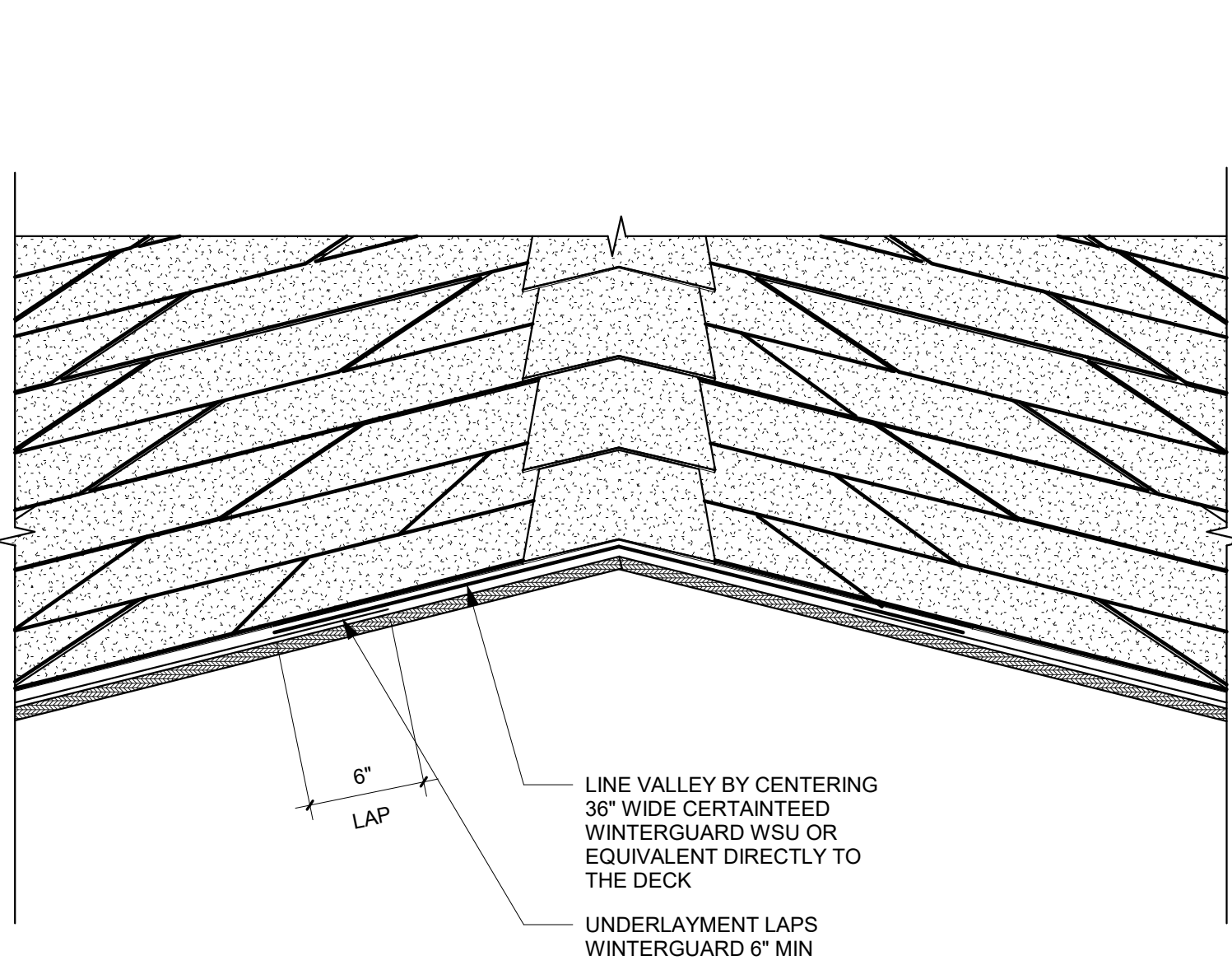
DESIGNED BY: NPD

PROJECT NO: 5060

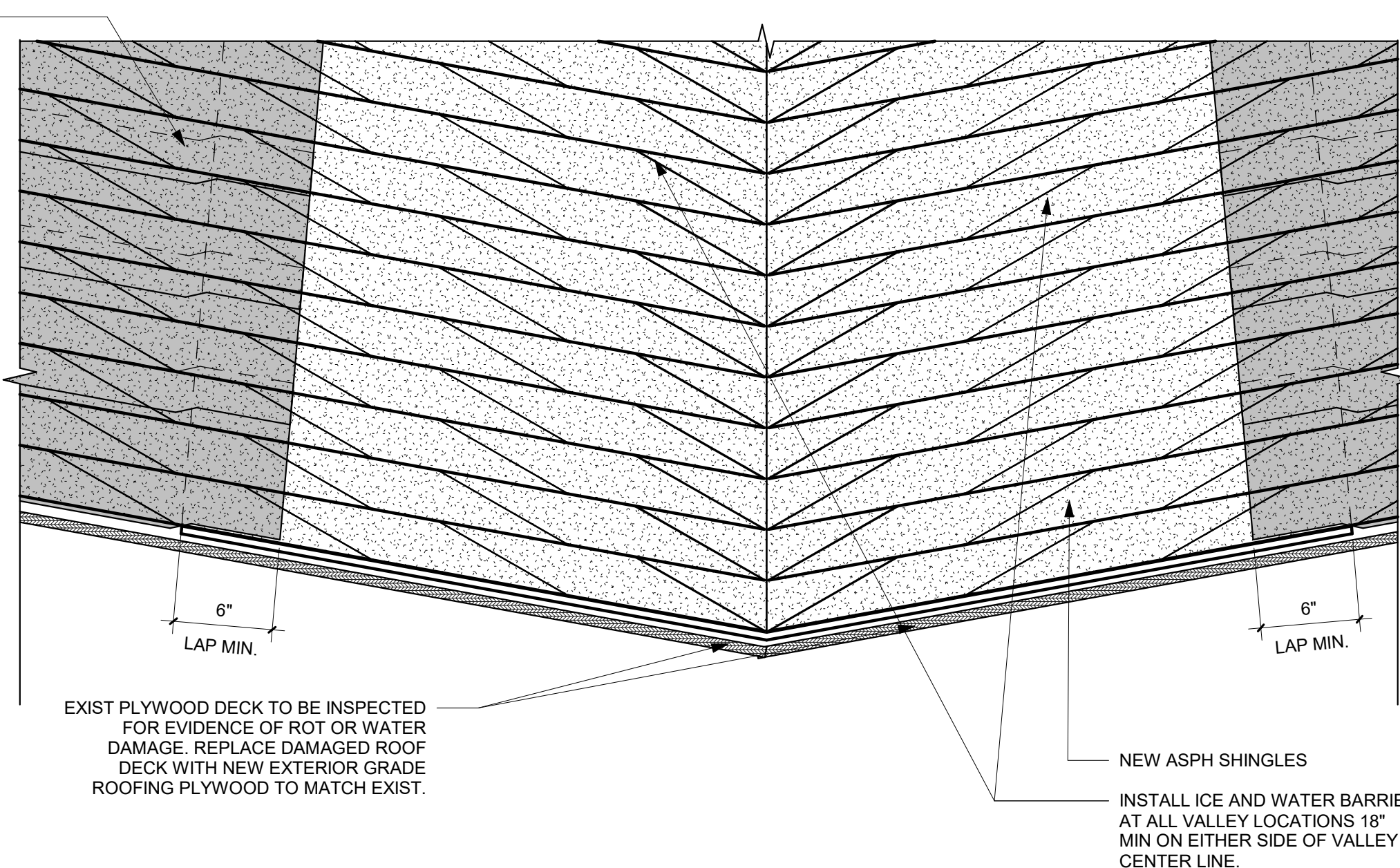
DATE: 8/14/2024

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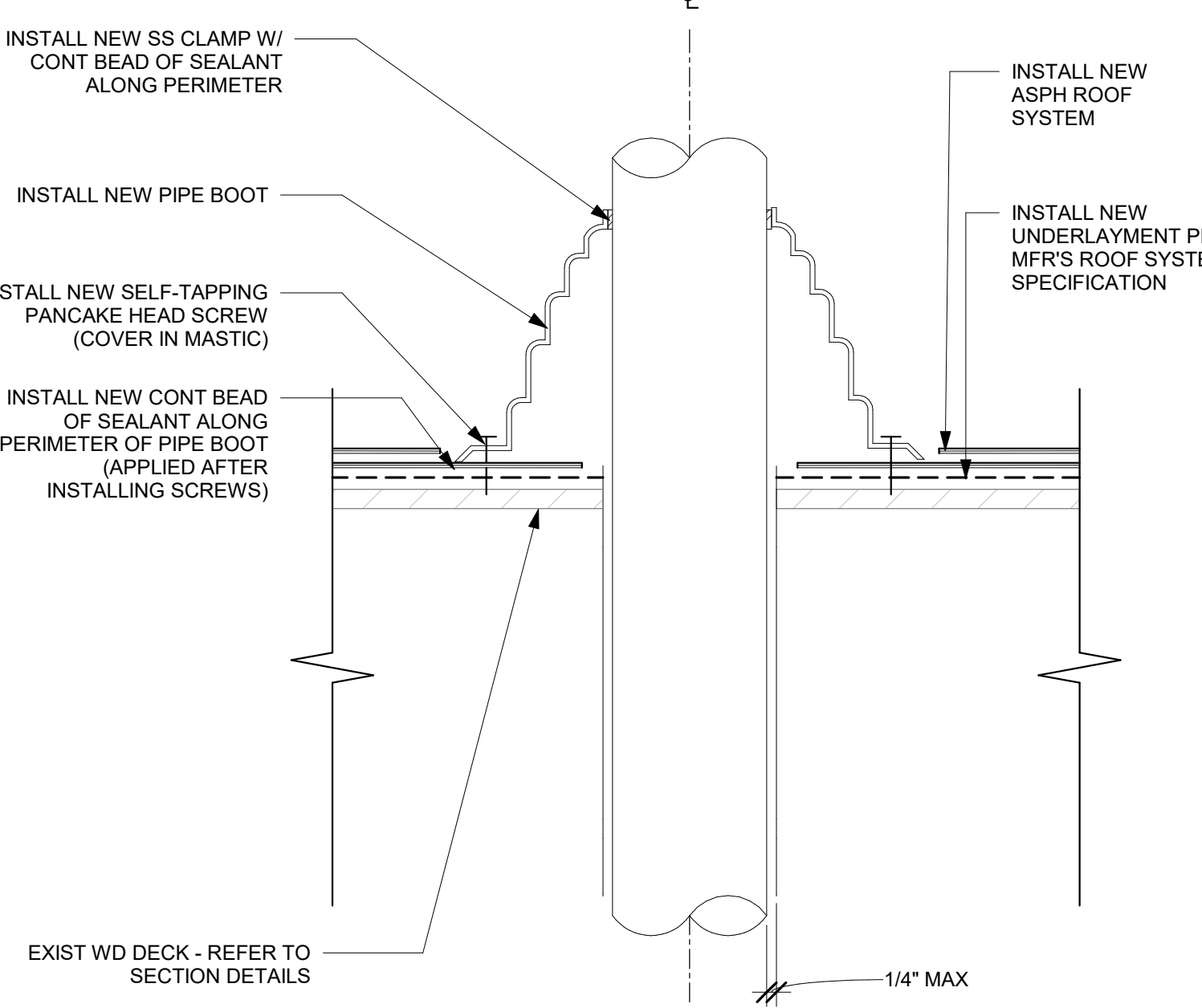
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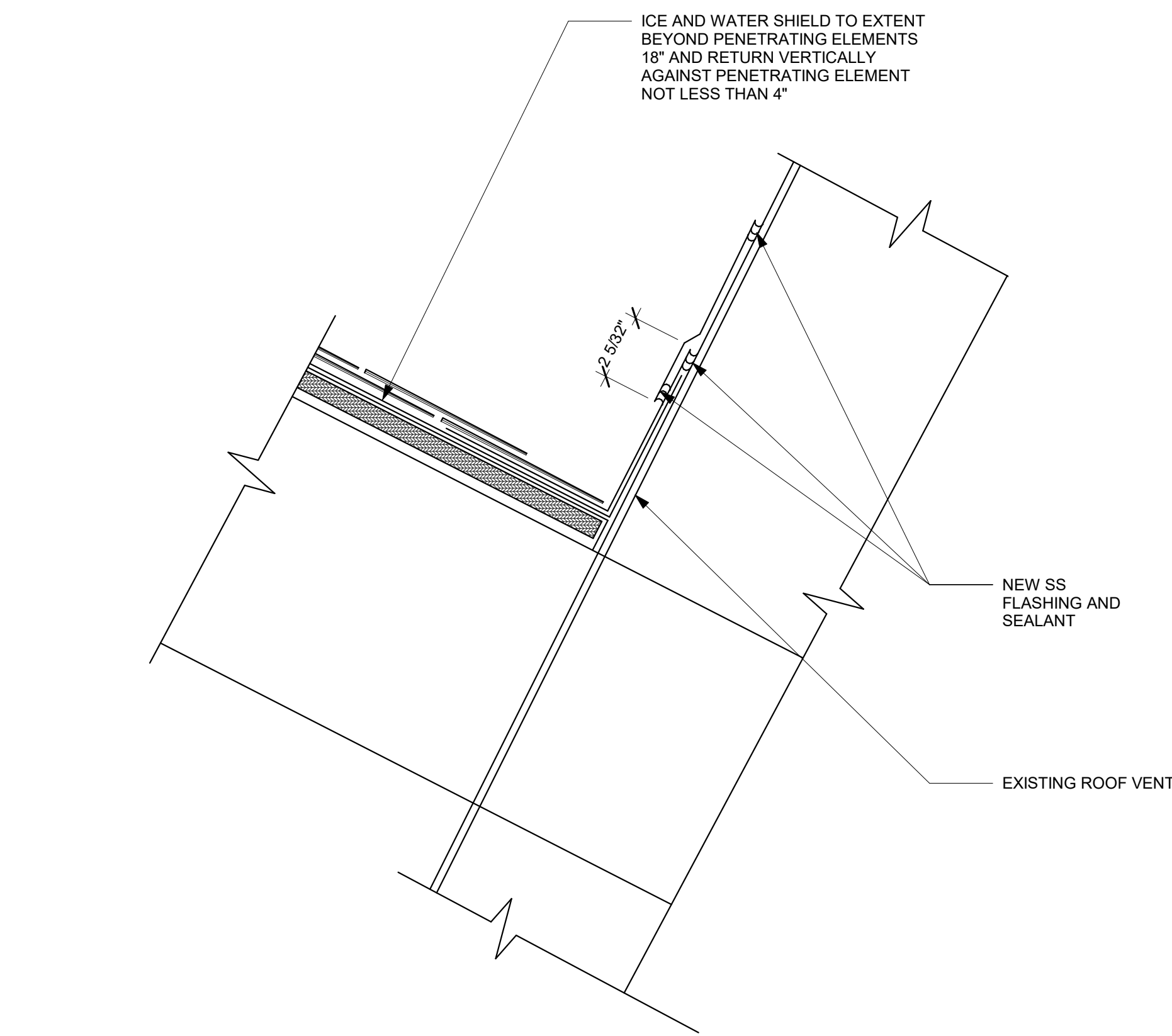
1 TYP. HIP SECTION
1 1/2" = 1'-0"



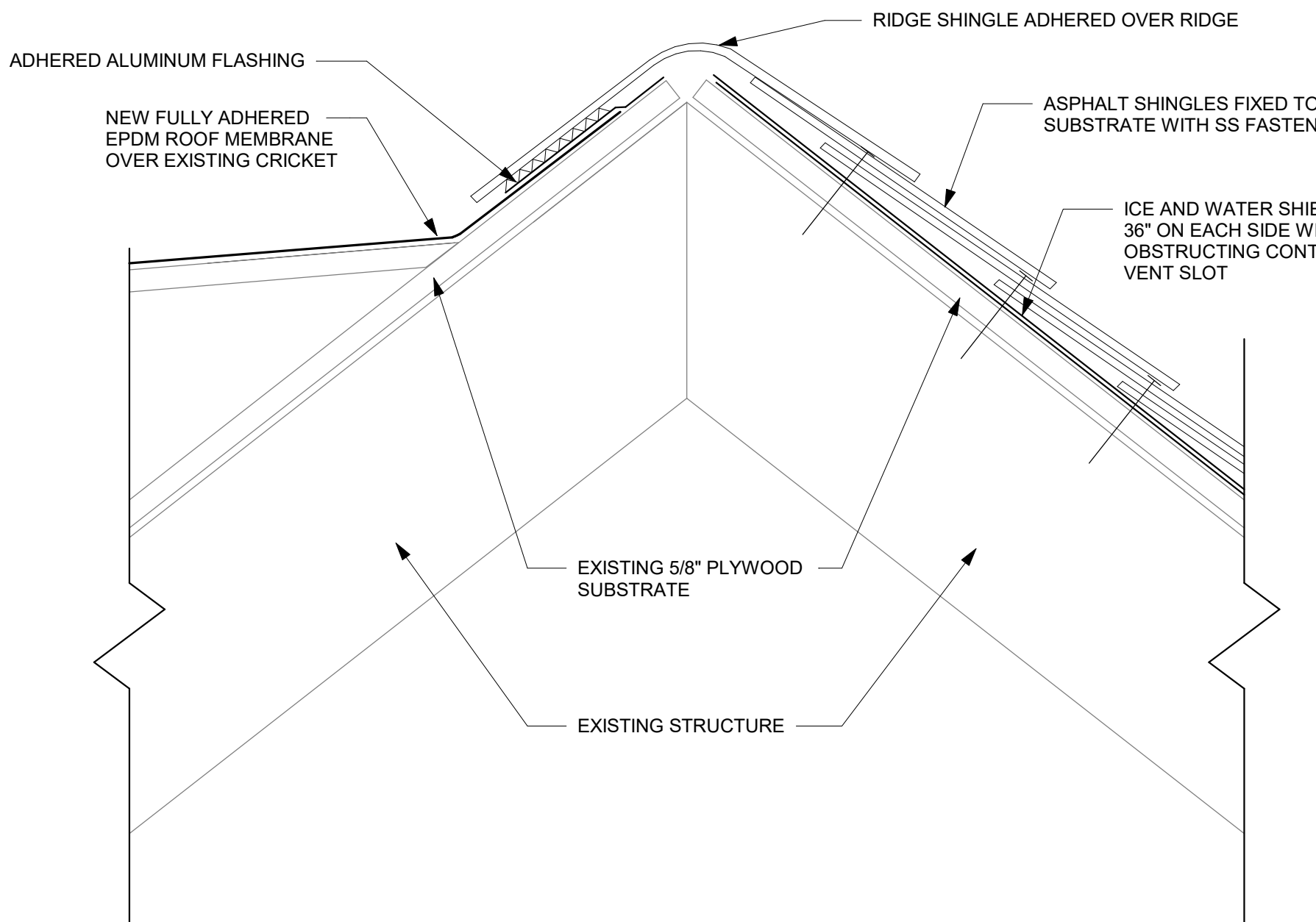
2 TYP. VALLEY SECTION
1 1/2" = 1'-0"



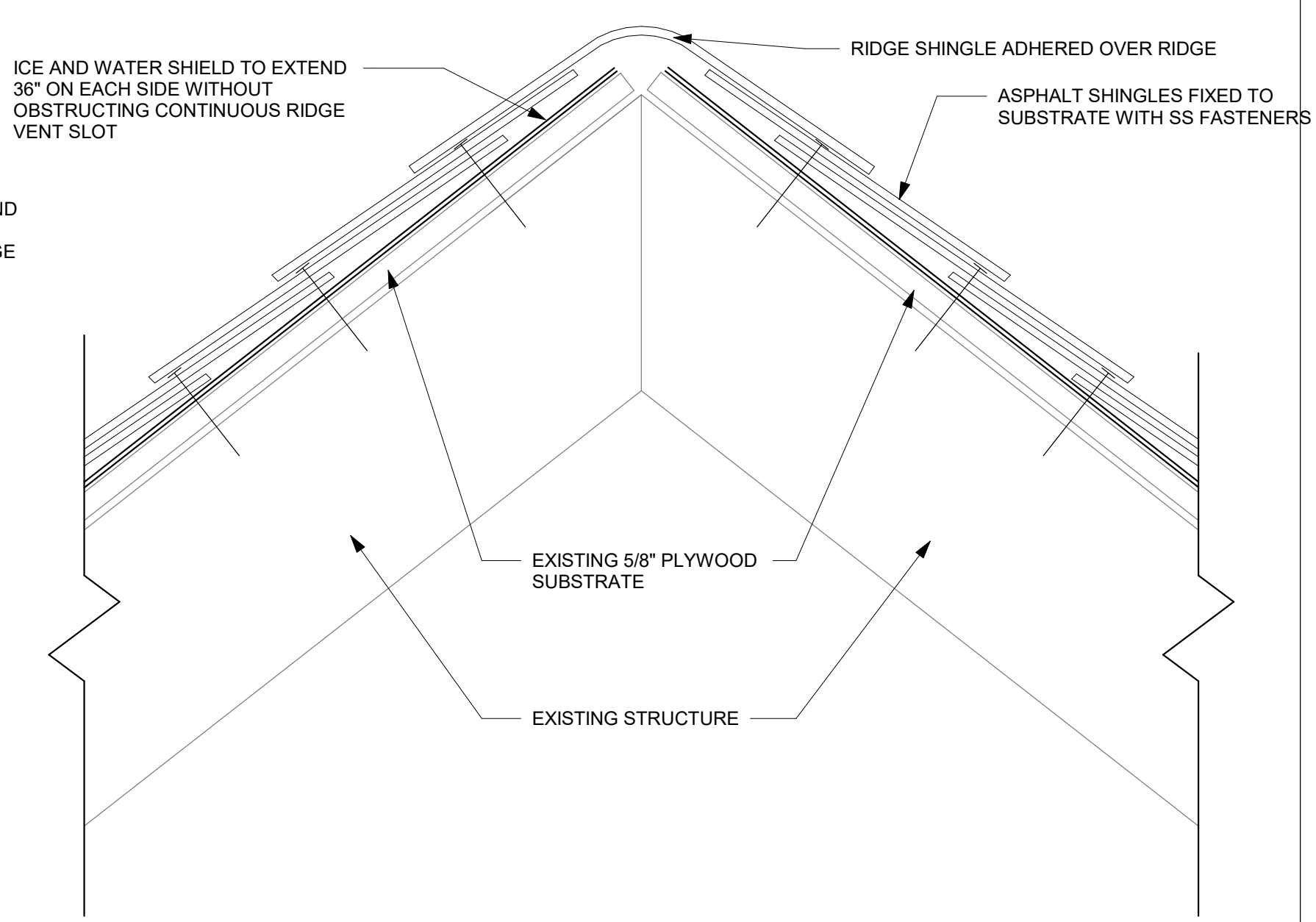
3 TYP. VENT PIPE FLASHING DETAIL W/ BOOT
3" = 1'-0"



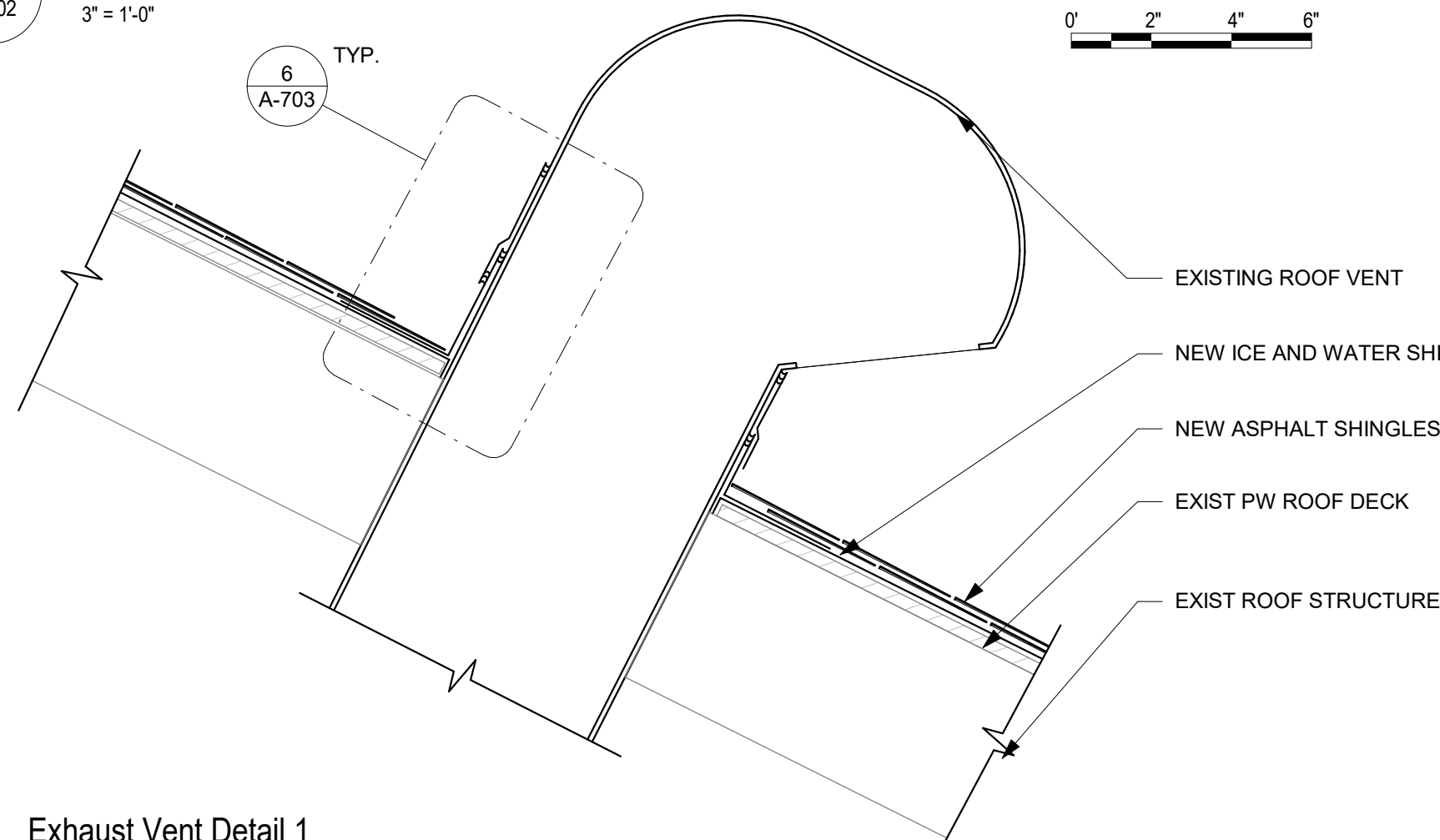
6 Exhaust Vent Detail 2
3" = 1'-0"



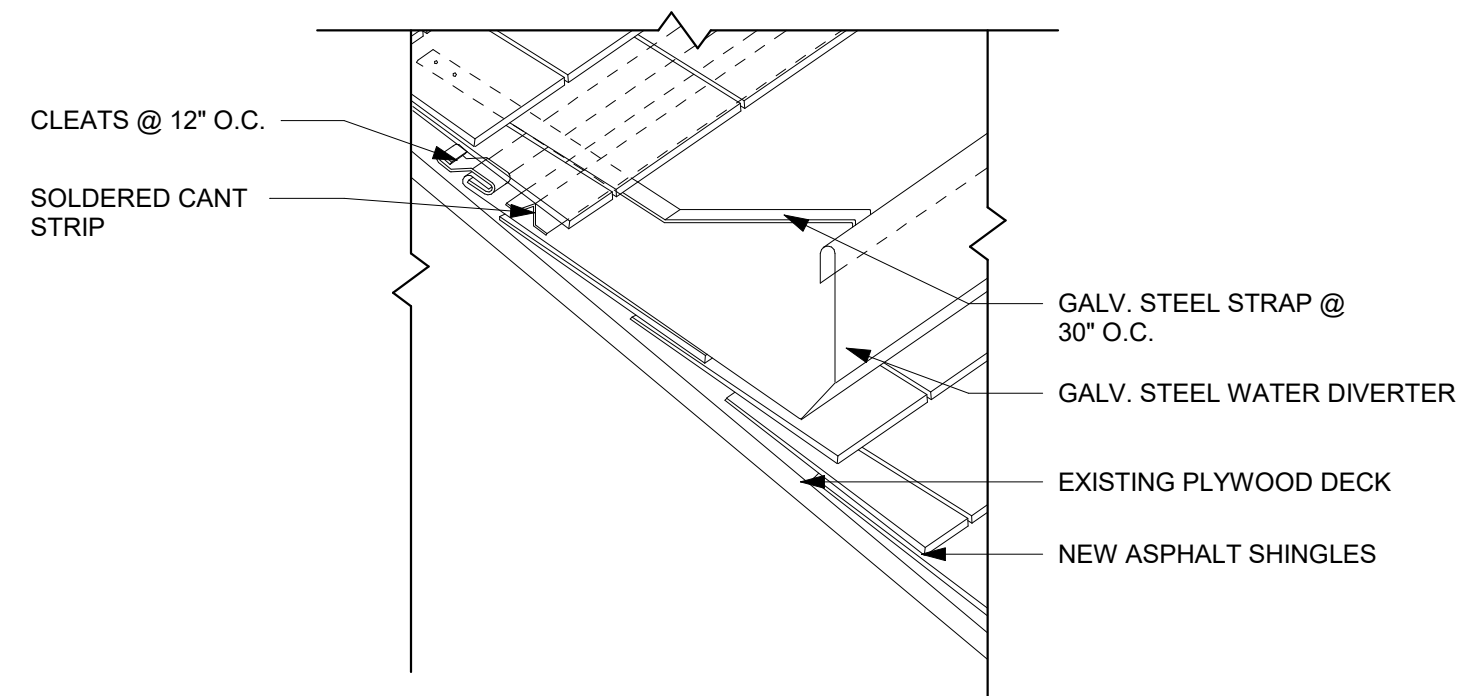
4 ASPHALT TO EPDM
3" = 1'-0"



5 RIDGE CLADDING
3" = 1'-0"



7 Exhaust Vent Detail 1
1 1/2" = 1'-0"



8 RAIN DIVERTER DETAIL
3" = 1'-0"



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227-229 HUTTLESTON AVE,
FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

ASPHALT ROOF DETAILS 1 OF 2

SCALE
AS NOTED

CHECKED BY
JG

DRAWN BY
BG

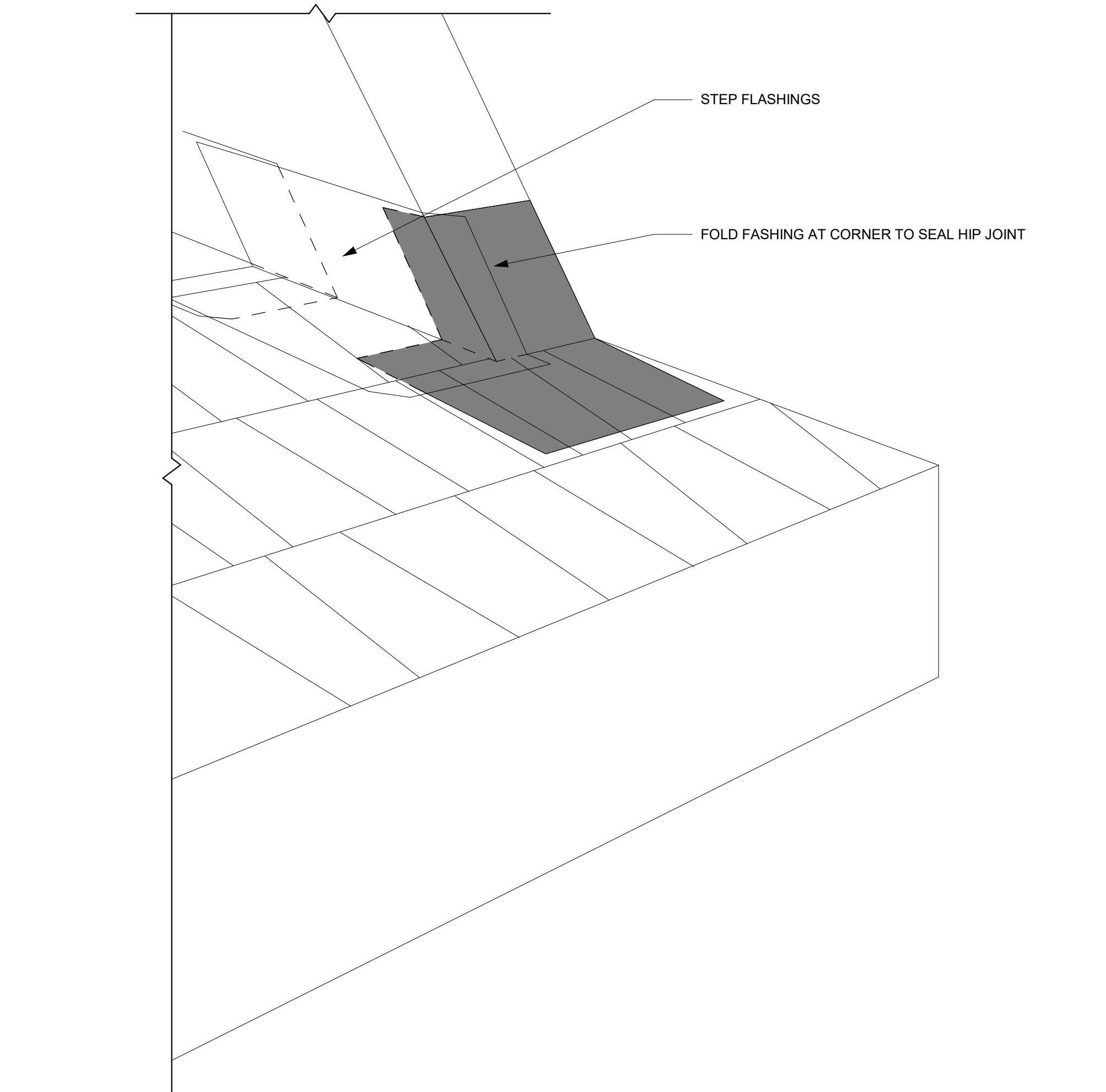
DESIGNED BY
NPD

PROJECT NO.
5060

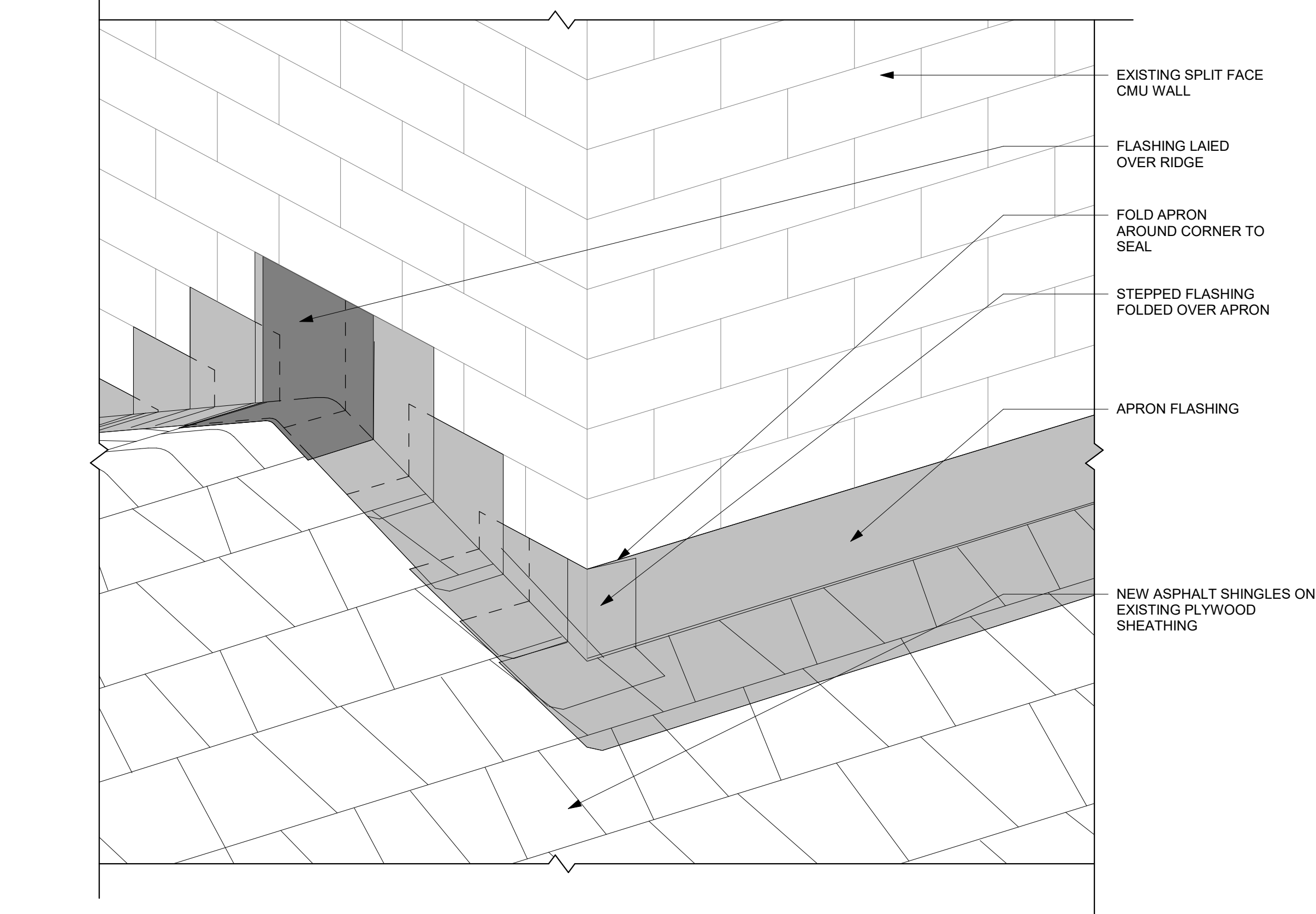
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8/14/2024

DRAWING NO.

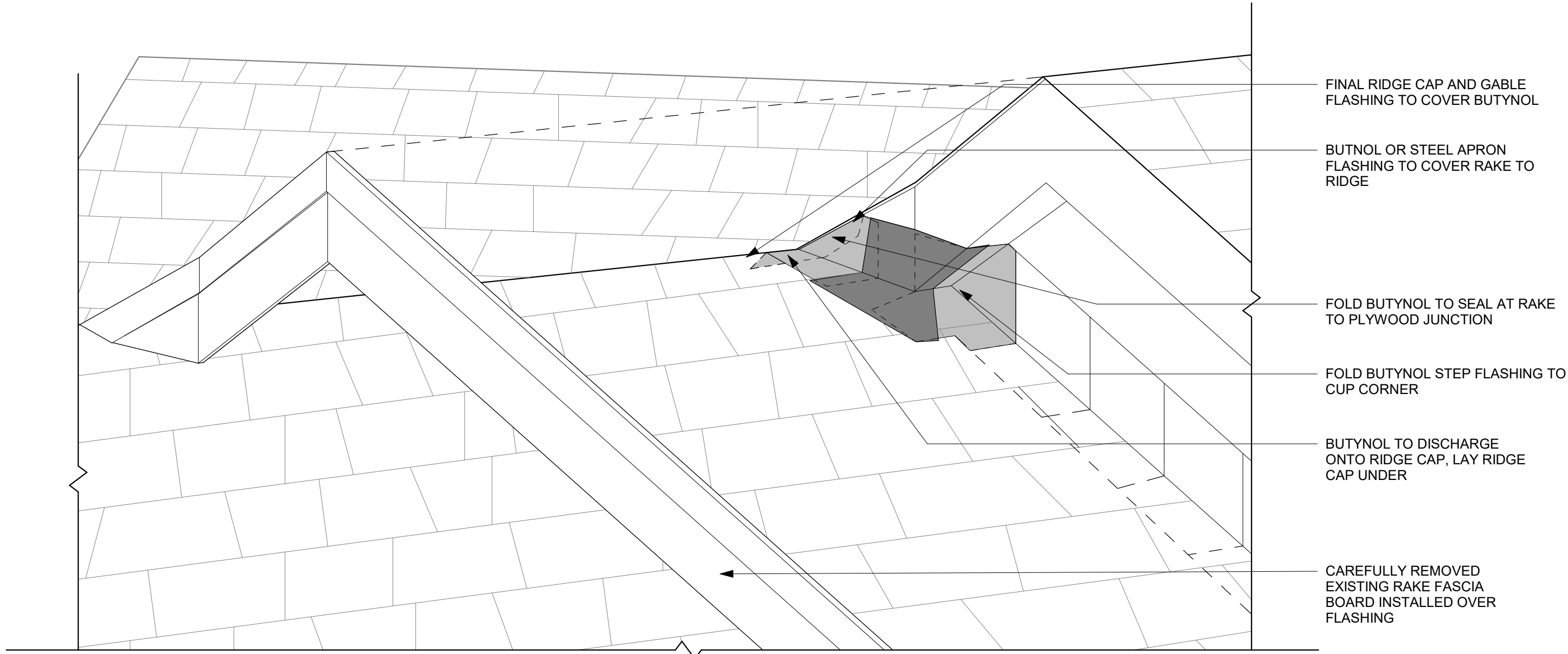
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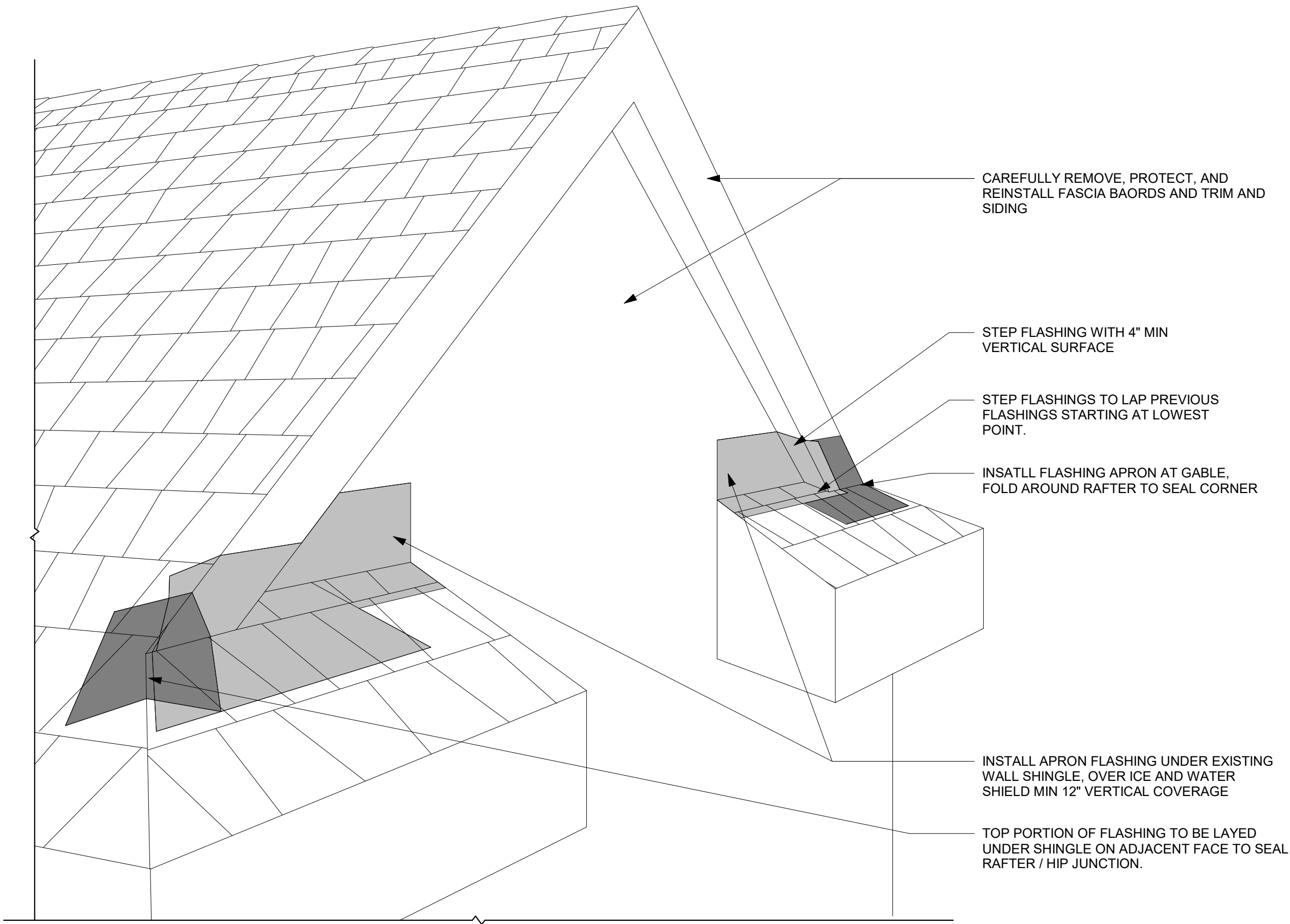
1 DUTCH GABLE FLASHING CORNER
NTS



3 TYPICAL FLASHING CONDITION AT CMU WALL
NTS



2 BUILDING B PEAK FLASHING DETAIL
NTS



4 TYPICAL DUTCH GABEL FLASHING DETAIL
NTS



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TOWN OF FAIRHAVEN

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ROOF REPLACEMENT

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FAIRHAVEN, MA 02719

100% DOCUMENTS FOR BID

ASPHALT ROOF DETAILS 2
OF 2

SCALE:
AS NOTED

CHECKED BY: JG

DRAWN BY: BG

DESIGNED BY: NPD

PROJECT NO: 5060

DATE: 8/14/2024

DRAWING NO:

A-704



TOWN OF FAIRHAVEN

SENIOR AND RECREATIONAL CENTER ROOF REPLACEMENT

100% DOCUMENTS FOR BID

SCALE	AS NOTED		
CHECKED BY	JG		
DRAWN BY	BG		
DESIGNED BY	NPD	DRAWING NO.	
PROJECT NO.	5060	A-705	
DATE	8/14/2024		

