



Ranking Criteria Responses (pg.15 of RFP)

1.b Purchase Plan. Oxford School offer \$25,000.00

Full Name of Organization- Sherwood Building Co., Inc. 650 Plymouth Ave. Fall River, MA 02721

Principle- Alex Stylos 2 Jordan Lane Freetown, MA 02717

2. Financial Institution- Mechanics Cooperative Bank letter of Financial support enclosed

3.a Economic Benefits- Our development plan has tax benefits to Town as we propose full property taxation within 3 years of ownership

3.b. Indirect Benefits - Community use of gymnasium through interested local non profits. Use of Cafeteria for Food Pantry. Re-use of classrooms for adult education and youth education.

4. Developer Experience - Our experience in Historic restoration while bringing Former School building up to current State and Local Building Code is attached. As we currently own and have restored 3 schools within Fall River MA within the last 2 years. Our development experience includes (2) specific school building of the same time period as the Oxford (Connell School @ 650 Plymouth Ave. Fall River, MA circa 1893). Healy School @ 726 Hicks St. Fall River, MA (circa 1897)

5. Experience in Building Restoration:

Major Restoration projects by Sherwood Building Co., Inc.

1. Rob Roy hair academy South Main Street Fall River completed 2011.

2. Re-development of N. Underwood St. Fall River, (5) buildings including the re-use of former Portuguese sausage factory. Completed 7-1-15
3. Redevelopment of 146 Stewart Fall River MA (completed 3-1-15).
4. Re-development of 799 State Rd. Dartmouth, creating Minuteman Harley Davidson completed 2009- Amount \$2.85 million
5. Historic Renovation and Restoration of 69 Rhode Island Ave. Newport RI, 1.3 million dollar project completed 5\ 2013.
6. **William Connell School Restoration**, 650 Plymouth Ave., Fall River MA 12-1-14 to present circa 1893 Owned by Sherwood (plans included in submittal package).
7. **Susan B. Wixon School**, 263 Hamlet St., Fall River, MA 02721. Historic Preservation of a 1914 Circa School Building and in short order received Occupancy for portion of facility for Argosy Charter School. 3-14 to 8-14. Owned by Sherwood (plans included in submittal package).
8. **Harriet T. Healy School Restoration** 726 Hicks St., Fall River, MA , (plans included in submittal package).Owned By Sherwood Started 9-15, Restoring into Educational Facility.

6. Developer Financial Capacity to Design and Construct- (3) Design examples are included in our design package.

7. Developer Financial Capacity to Manage Site : Sherwood Building co., Inc. President Alex Stylos Massachusetts Construction Supervisor License # 066954, Commonwealth of Massachusetts Department of Labor Standard Asbestos Supervisor License Number AS 901829

8. Preliminary Design Plans- our preliminary plan will be complete 12-15-15
Construction commencement approximately 2-15-2016

9. Priority for employment will be given to Fairhaven residents for additional positions required for construction .

10. Short and Long Term vision. We will pursue the building to be completed in (2)stages, Addition - open within 8 months of ownership and Historic section completed within 18 months. We will develop the Oxford school in Educational, recreational and Food Pantry service in conjunction of local non-profits with a strong background in delivering human services.

11. Taxation method. Our development goal will have property fully taxed after 3 years of ownership.

References for Sherwood Building Co., :

1. Glen Hathaway- Building Inspector City of Fall River, One Government Center Fall River, MA 02722 tel 508-324-2500
2. Dennis Raposa, Bentley Architects. 209 Bedford St., Fall River, MA tel 508-674-7600.
3. State Senator Michael Roderiques, One Government Center Fall River, MA 02722 tel 508-646-0650



Commonwealth of Massachusetts
Department of Labor Standards

Heather E. Rowe, Director

Asbestos Supervisor



ALEXANDER A. STYLOS

Eff. Date 04/16/15

Exp. Date 04/16/16

AS901829

Member of C.O.N.E.S.

NBN NB-NEW

16



Massachusetts - Department of Public Safety
Board of Building Regulations and Standards

Construction Supervisor

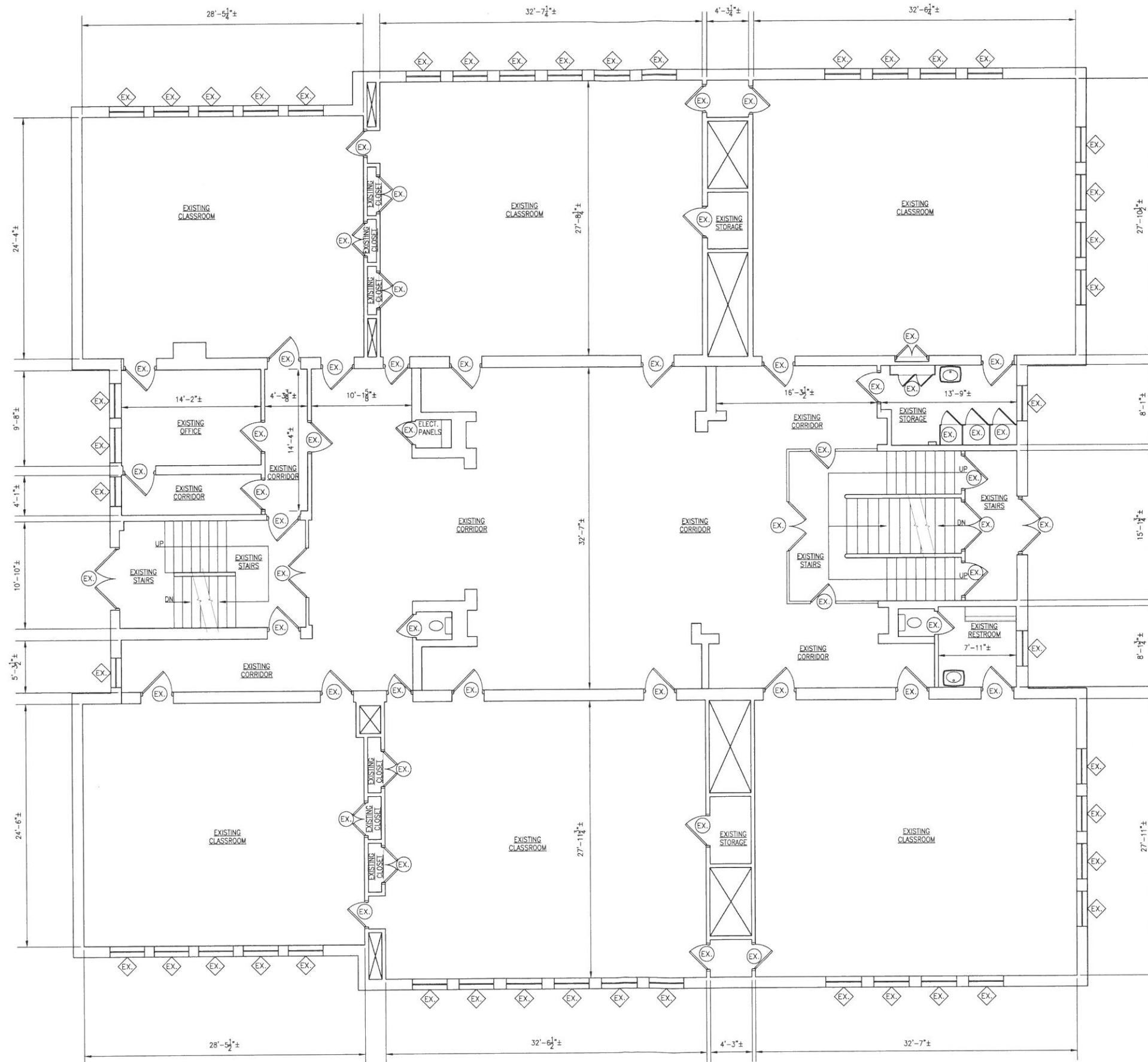
License: **CS-066954**

ALEXANDER A STYLOS
2 Jordan Lane
East Freetown MA 02717



Thomas A. Bligh
Commissioner

Expiration
04/28/2017



LEGEND	
	EXISTING PARTITIONS
	EXISTING DOOR
	EXISTING WINDOW

PROGRESS DRAWINGS - NOT FOR CONSTRUCTION

A-1	EXISTING FIRST FLOOR PLAN
A-2	3/16"=1'-0"

Jo Ann Bentley Architect Inc.
 208 BEDFORD STREET ~ SUITE 404
 FALL RIVER, MASSACHUSETTS 02720
 tel: 508.674.7600
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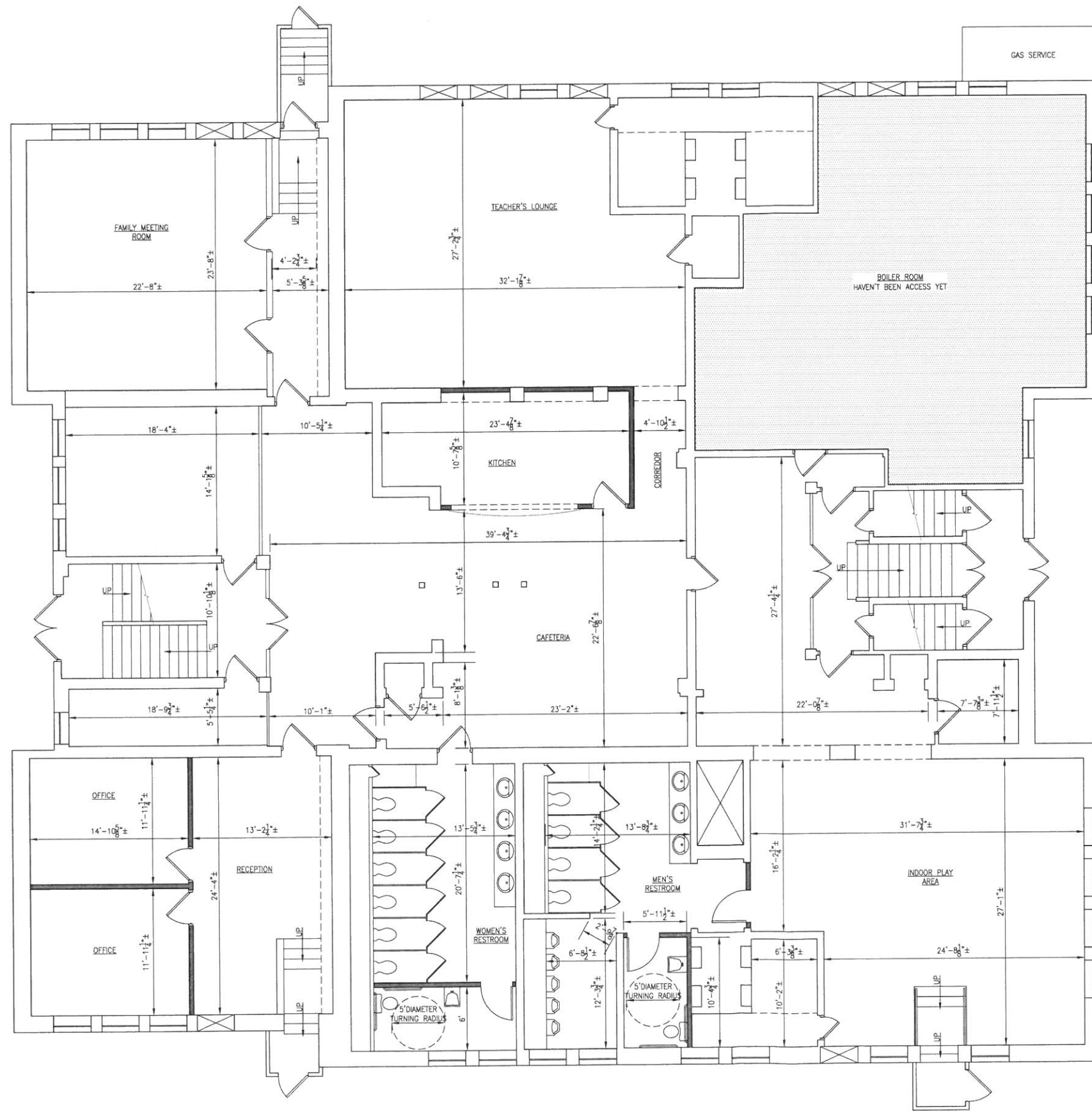
AS BUILD DRAWINGS FOR
 HEALY SCHOOL
 726 HICKS STREET
 FALL RIVER, MA 02724

- EXISTING FIRST FLOOR PLAN

PROJECT NO:	---
CAD FILE:	HEALY SCHOOL
DRAWN BY:	YE
SCALE:	AS SHOWN
DATE:	JANUARY 02, 2015
REV:	

DRAWING NO.:

A-2



LEGEND
 — EXISTING PARTITIONS
 — PROPOSED PARTITIONS

PROGRESS DRAWINGS - NOT FOR CONSTRUCTION

Jo Ann Bentley Architect Inc.
 208 BEDFORD STREET ~ SUITE 404
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 fax: 508.674.7603

AS BUILD DRAWINGS FOR
 HEALY SCHOOL
 726 HICKS STREET
 FALL RIVER, MA 02724

PROPOSED BASEMENT FLOOR
 PLAN

PROJECT NO: 897
 CAD FILE: HEALY SCHOOL
 DRAWN BY: YE
 SCALE: AS SHOWN
 DATE: JUNE 29, 2015
 REV:

DRAWING NO.:

A-3

A-1 PROPOSED BASEMENT FLOOR PLAN
 A-3 3/16"=1'-0"

PROPOSED ELEVATOR & HOIST WAY AT WIXON SCHOOL 263 HAMLET STREET FALL RIVER, MA. 02720



- GENERAL**
- ALL WORK SHALL CONFORM TO THE 2009 IBC WITH MASSACHUSETTS AMENDMENTS.
 - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO NEW CONSTRUCTION. REPORT TO THE ARCHITECT/ENGINEER ALL OBSERVATIONS AND ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK.
 - SUBMIT SHOP DRAWINGS FOR APPROVAL (FOR ALL TRADES INDICATED HEREIN).
- II. DESIGN LOADS**
- ROOF LOAD (SNOW LOAD) _____ 45 PSF
 - FLOOR LIVE LOADS _____ LIGHT: 125 PSF
HEAVY: 250 PSF
 - WIND LOAD _____ PER INTERNATIONAL BUILDING CODE, 2012 EDITION:
ZONE 3, V=110 MPH, EXPOSURE B.
- III. CONCRETE**
- ALL CONCRETE WORK SHALL CONFORM TO ACI 318 AND 301 REQUIREMENTS. THIS SHALL INCLUDE PROPORTIONING OF CONCRETE MIX, CONCRETE TESTING, PLACEMENT OF CONCRETE, AND CURING PROCEDURES.
 - CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTH:
 - FOOTINGS & FOUND. WALLS BELOW GRADE _____ 3000 PSI
 - SLABS _____ 4000 PSI
 - ALL OTHER CONCRETE _____ 4000 PSI
 - PROVIDE TOTAL AIR ENTRAINMENT OF 6% (±) FOR ALL CONCRETE EXPOSED TO WEATHER.
 - MAXIMUM WATER/CEMENT RATIO - W/C = 0.45. (PROVIDE A HIGH-RANGE WATER REDUCING ADMIXTURE AS REQUIRED TO INCREASE WORKABILITY OF THE CONCRETE)
 - CONCRETE REINFORCING SHALL BE IN ACCORDANCE WITH ASTM A615 AND HAVE THE FOLLOWING MINIMUM YIELD STRENGTH:
 - MAIN REINFORCING STEEL _____ 60 KSI
 - TIES & STIRRUPS _____ 40 KSI
 - WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A185.
 - UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING MINIMUM REINFORCING COVER:
 - FOOTINGS _____ 3 INCHES
 - CONC. EXPOSED TO WEATHER OR EARTH _____ 2 INCHES
 - SLABS ON GRADE (W/F) _____ (SEE TYPICAL DETAILS)
 - MAXIMUM CONCRETE WALL LENGTHS BETWEEN CONSTRUCTION JOINTS SHALL BE 60 FEET.
 - REINFORCING LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI-318-95 FOR TENSION LAP SPLICES, CLASS B, UNLESS NOTED OTHERWISE. HORIZONTAL REINFORCING IN PERIMETER WALLS SHALL BE LAPPED 24" MINIMUM.
 - PROVIDE CORNER BARS AT ALL WALL CORNERS & INTERSECTIONS MATCHING HORIZONTAL REINFORCEMENT WITH 2"-6" MINIMUM LAPS.
 - INTERIOR FLOOR SLAB TO BE POURED IN ONE DAY. THE SLAB WILL HAVE A STANDARD TROWEL FINISH.
 - EXTERIOR CONCRETE DOOR PADS AND VEHICLE ACCESS PADS WILL HAVE A BRUSHED FINISH.

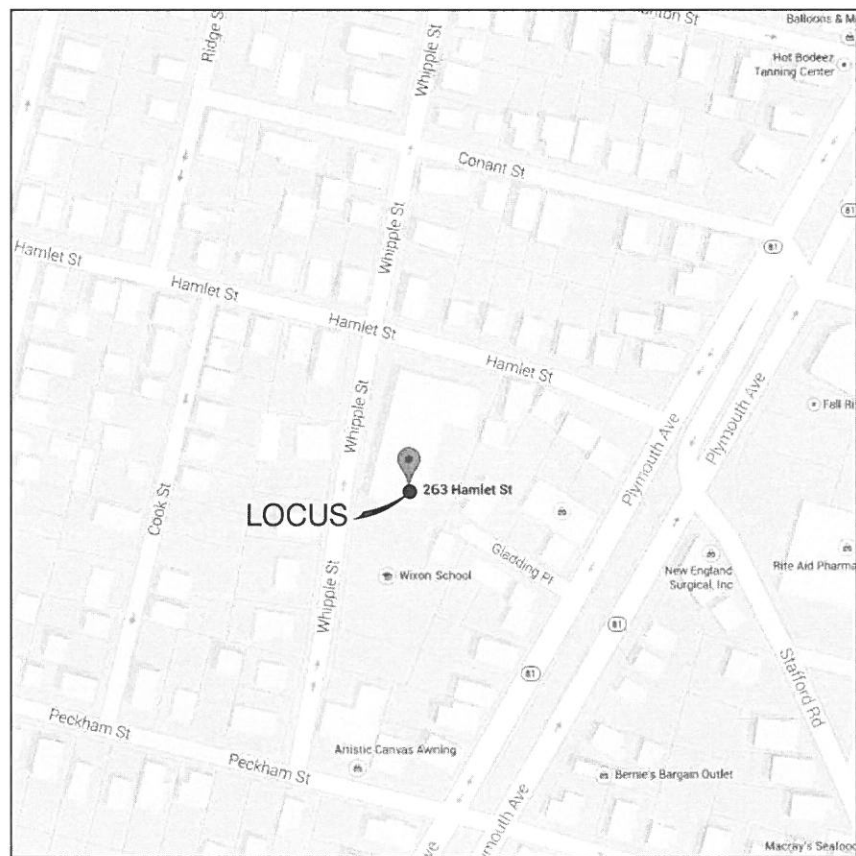
- IV. FOUNDATIONS & FOOTINGS**
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AS WELL AS ALL APPROPRIATE AGENCIES AND MUNICIPALITIES TO AVOID DAMAGE TO UNDERGROUND UTILITIES PRIOR TO THE START OF ANY SITE WORK.
 - BOTTOMS OF ALL FOOTINGS SHALL BE 4'-0" MINIMUM BELOW FINISH GRADE.
 - FOOTINGS SHALL BE STEPPED AT A MAXIMUM SLOPE OF 2 HORIZONTAL TO 1 VERTICAL, UNLESS NOTED OTHERWISE. (SEE TYPICAL DETAILS)
 - ALL FOUND. WALLS SHALL BE BACKFILLED AFTER 28 DAYS OF CONCRETE PLACEMENT. (THIS TIME MAY BE REDUCED IF A HIGH EARLY STRENGTH CONCRETE IS SUBSTITUTED PER APPROVAL OF THE ARCHITECT/ENGINEER, OR IF THE WALL IS ADEQUATELY BRACED) DURING BACKFILL OPERATIONS OF ALL FOUNDATION WALLS, THE FILL ON EITHER SIDE OF THE WALL SHALL NOT EXCEED A 2'-0" DIFFERENTIAL, UNLESS THE WALL IS DESIGNED FOR RETAINING ACTION.
 - FOR PENETRATIONS THROUGH CONCRETE FOUNDATION WALLS REINFORCE WALL AROUND PERIMETER w/(4)-#5 BARS, EACH FACE IN A DIAGONAL PATTERN EXTENDING 2'-6" BEYOND OPENING TYPICAL.
- V. ELEVATOR**
- ALL ELEVATOR COMPONENTS MUST CONFORM TO 524 CMR INCLUDING BUT NOT LIMITED TO HYDRAULIC DRIVE, MAST, PLATFORM, CONTROLS & SWITCHES, DOOR ASSEMBLIES, LOCKS & KEYS AND GRAB RAILS. ALL COMPONENTS ARE TO BE DESIGNED AND SUPPLIED BY THE ELEVATOR MANUFACTURER AND INSTALLED BY THE GENERAL CONTRACTOR.
 - THE ELEVATOR ASSEMBLY IS TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS AND ELEVATOR MANUFACTURER'S REQUIREMENTS. SHOP DRAWINGS ARE TO BE FOR REVIEW AND APPROVAL. ELEVATOR COLORS, FINISHES, MATERIALS, ETC. TO BE SELECTED BY OWNER.
 - G.C. TO SUPPLY AND INSTALL ALL REQUIRED ELECTRICAL & MECHANICAL COMPONENTS. G.C. TO COORDINATE WITH THE ELEVATOR MANUFACTURER.
- VI. MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM, COMMUNICATIONS**
- ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE ALARM WORK ARE TO BE DESIGN/BUILD BY THE OWNER AND INSTALLED BY PROFESSIONALS LICENSED IN THE STATE OF MASSACHUSETTS.
 - DEDICATED TELEPHONE LINE TO THE ELEVATOR ASSEMBLY TO BE DESIGN/BUILD BY THE OWNER.

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PROPOSED ELEVATOR & HOIST WAY
AT WIXON SCHOOL
263 HAMLET STREET
FALL RIVER, MA

G-1 GENERAL NOTES
T-1 NOT TO SCALE

G-8 PROJECT TITLE
T-1 NOT TO SCALE



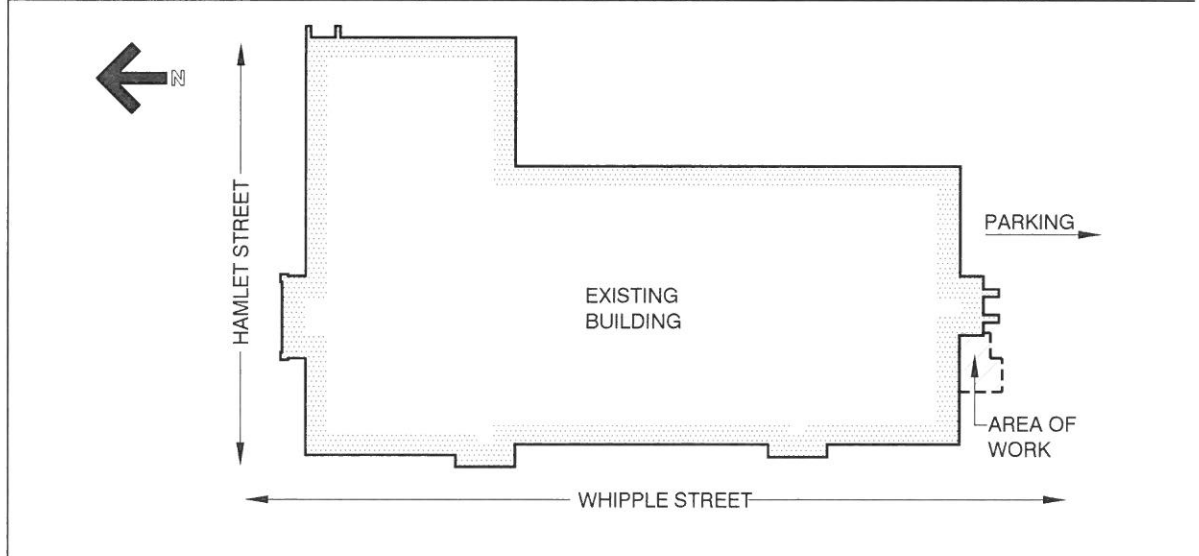
CODE COMPLIANCE

Base Code: 2009 International Building Code with Massachusetts Amendments

	Allowable (E) Educational	Actual (E) Educational	Reference
Occupancy Classification			SECTION 305
Construction Classification	Type 3B	Type 3B	SECTION 602.3
Minimum Fire Resistance of Structural Elements			TABLE 601
<ul style="list-style-type: none"> Structural Frame Bearing Walls <ul style="list-style-type: none"> Exterior Interior Nonbearing Walls and Partitions Floor Construction Roof Construction 	0 2 0 0 0 0	0 2 0 0 0 0	
Building Area	14,500 s.f.	41,065 s.f.	TABLE 503
Building Area Increase due to Sprinkler	(300%)(14,500 s.f.) 58,000 s.f.	41,065 s.f.	SECTION 506.3
Building Height	55 feet	45 feet	TABLE 503
Number of Stories	2	3	TABLE 503
Maximum Occupant Load	20 Net (Classroom Area) = 13,893 s.f. 50 Net (Shops & other vocational room areas) = 27,172 s.f.	Occupants Classrooms = 695 Other Areas = 544 Total = 1,239 Occupants	TABLE 1004.1.1
Maximum Travel Distance	200 feet (without sprinklers) 250 feet (with sprinklers)	170 feet	TABLE 1016.1
Egress Width per Occupant	0.2 Inches/Occupant = 248 inches	341 inches	SECTION 1005.1
Number of Exits	2 Exits	5 Exits	TABLE 1021.1

DWG.	TITLE	REVISION
T-1	Title Sheet, General Notes, Locus Map, Locus Plan & Code Compliance Data	
A-1	Existing Conditions/Demolition Plans, Section & Demolition Notes	
A-2	Proposed Plans, Key Notes & Section	
A-3	Roof Plan, Roof Framing Plan, Sections & Details	
A-4	Proposed Exterior Elevations, Key Notes, Door Elevations & Schedules, Details	

E-10 LIST OF DRAWINGS
T-1 NOT TO SCALE



A-1 LOCUS MAP
T-1 NOT TO SCALE

A-6 CODE COMPLIANCE DATA
T-1 NOT TO SCALE

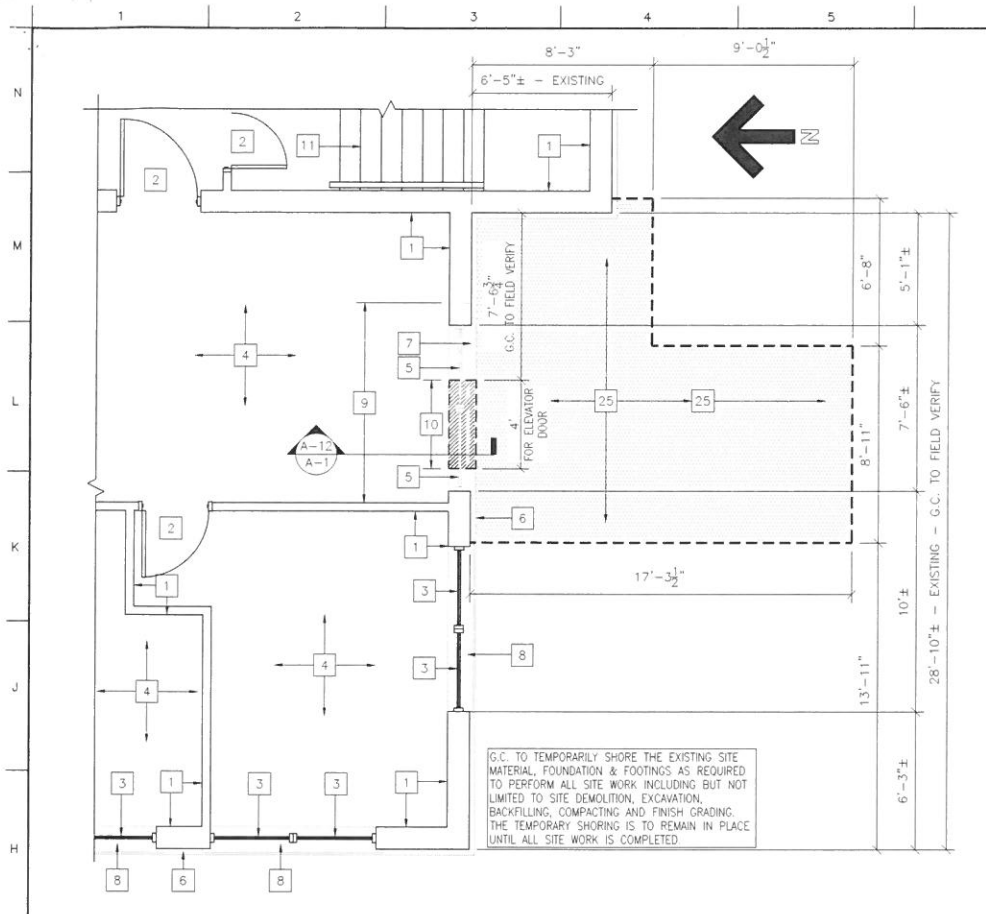
A-10 LOCUS PLAN
T-1 NOT TO SCALE

TITLE SHEET
GENERAL NOTES
LOCUS MAP & LOCUS PLAN
CODE COMPLIANCE DATA

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CAD FILE: WIXON SCHOOL ELEV.
DRAWN BY: DVR
SCALE: AS NOTED
DATE: APRIL 8, 2015
REV:

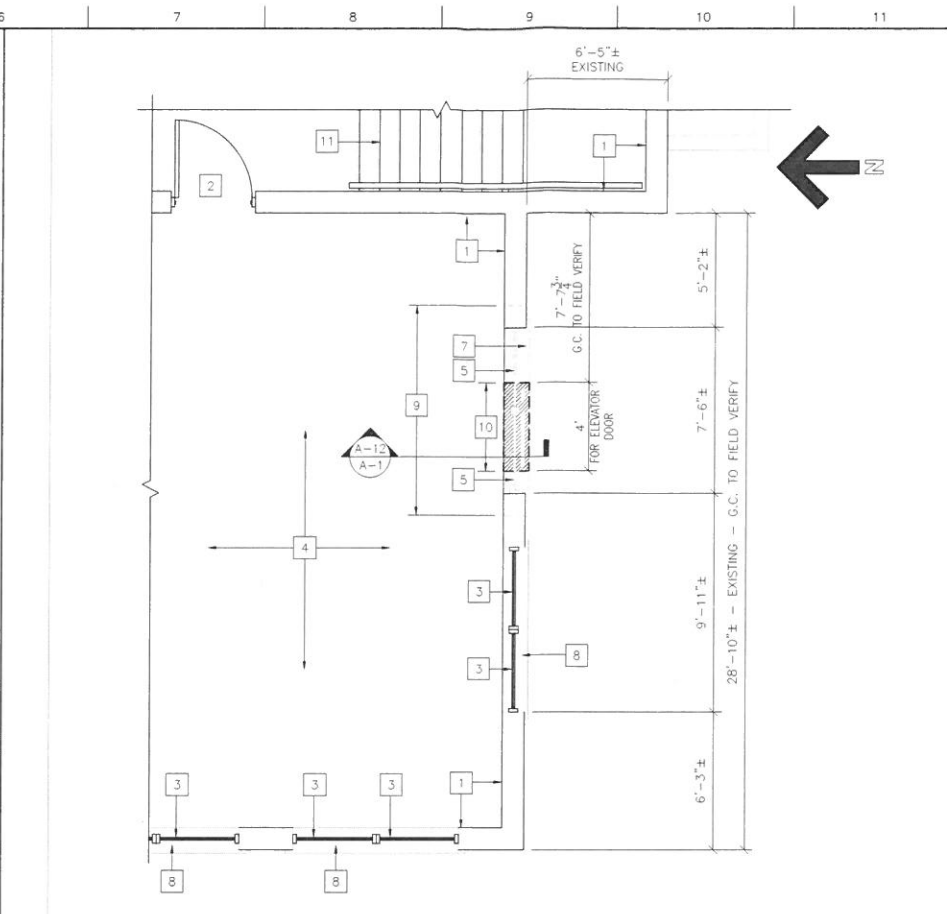
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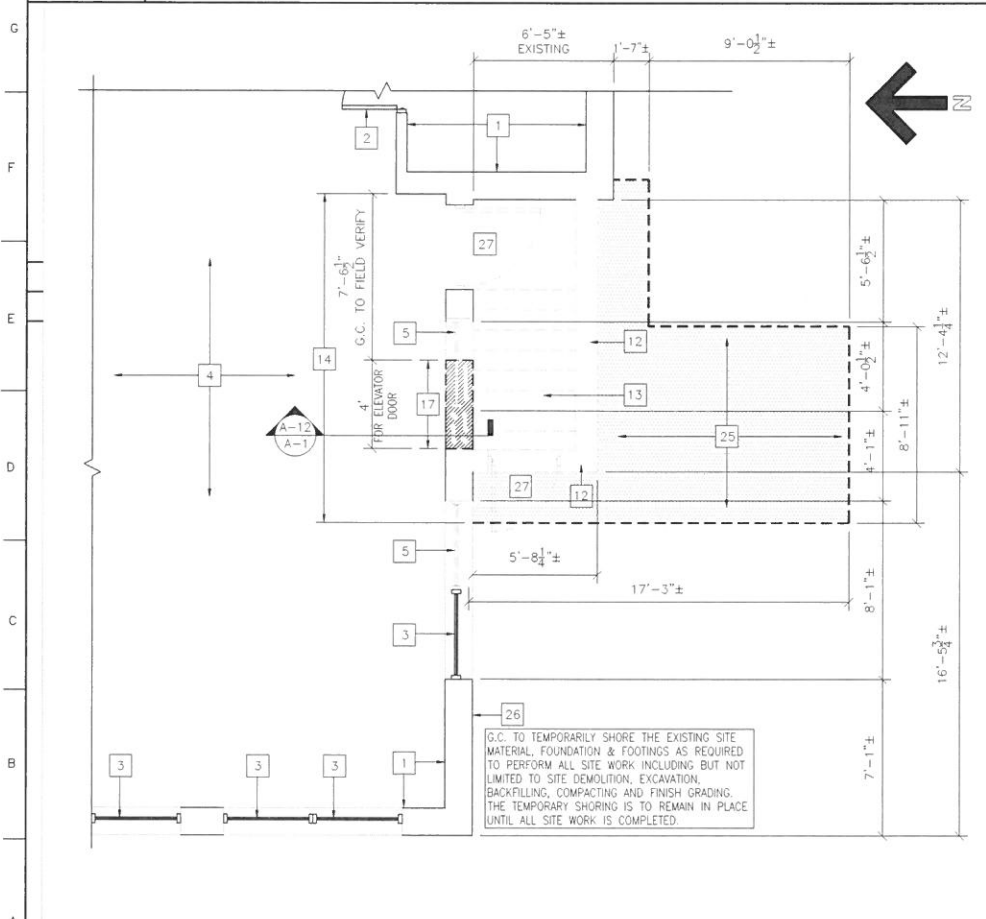
G-1 EXISTING/DEMO GRADE / FIRST FLOOR PLAN

A-1 1/4"=1'-0"



G-6 EXISTING/DEMO SECOND FLOOR PLAN

A-1 1/4"=1'-0"



A-1 EXISTING/DEMO BASEMENT PLAN

A-1 1/4"=1'-0"

- DEMOLITION KEY NOTES: A-1**
- 1 EXISTING WALLS ARE TO REMAIN.
 - 2 EXISTING DOORS FRAMES & HARDWARE ARE TO REMAIN.
 - 3 EXISTING WINDOW UNITS ARE TO REMAIN.
 - 4 ALL EXISTING FINISH SURFACES & MATERIALS ARE TO BE REMAIN.
 - 5 EXISTING WINDOW UNITS ARE TO BE MODIFIED AND/OR REMOVED. EXISTING OPENINGS ARE TO BE CLEANED AND PREPARED AS REQUIRED FOR THE NEW WORK.
 - 6 EXISTING STONE WATER TABLE TO BE SAW-CUT, MODIFIED AND OR REMOVED AS REQUIRED FOR THE NEW ELEVATOR ACCESS OPENING.
 - 7 EXISTING STONE SILL TO BE SAW-CUT, MODIFIED AND OR REMOVED AS REQUIRED FOR THE NEW ELEVATOR ACCESS OPENING.
 - 8 EXISTING STONE SILL TO REMAIN.
 - 9 SAW-CUT AND/OR MODIFY THE EXISTING WALL FLOOR AND CEILING FINISHES & MATERIALS AS REQUIRED FOR THE NEW ELEVATOR OPENING. MODIFIED PARTITIONS, FLOORS AND CEILINGS SHALL BE CLEANED, PREPARED AND/OR IN-FILLED AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES / MATERIALS.
 - 10 SAW-CUT, MODIFY AND/OR REMOVE A PORTION OF THE EXISTING EXTERIOR PARTITION, BELOW THE EXISTING WINDOW OPENING, AS REQUIRED FOR THE NEW ELEVATOR ACCESS OPENING. INCLUDING BUT NOT LIMITED TO SHEATHING, FRAMING, INSULATION, BRICK MASONRY, STONE SILL, STONE WATER TABLE, FASTENERS AND ACCESSORIES.
 - 11 EXISTING STAIR TO REMAIN.
 - 12 EXISTING STAIR FOUNDATION WALLS, FOOTINGS AND SLAB ARE TO BE REMOVED.
 - 13 EXISTING CONCRETE STAIRS ARE TO BE REMOVED.
 - 14 EXISTING FOUNDATION WALL AND FOOTING TO BE TEMPORARILY SHORED AS REQUIRED TO PERFORM ALL WORK.
 - 15 EXISTING CONCRETE FOOTING TO BE SAW-CUT AND MODIFIED AS REQUIRED FOR THE NEW ELEVATOR PIT FOUNDATION. SHORE WALL & FOOTING.
 - 16 EXISTING SLAB TO REMAIN.
 - 17 EXISTING FOUNDATION WALL, BRICK MASONRY, STONE BASE AND STONE SILL ARE TO BE SAW-CUT, MODIFIED AND REMOVED AS REQUIRED FOR THE NEW ELEVATOR ACCESS OPENING.
 - 18 EXISTING FLOOR STRUCTURE TO REMAIN.
 - 19 EXISTING FINISH ROOF STRUCTURE TO REMAIN.
 - 20 EXISTING STEEL LINTELS ARE TO REMAIN.
 - 21 EXISTING BRICK MASONRY TO REMAIN.
 - 22 EXISTING METAL COPING IS TO BE SAW-CUT &/OR MODIFIED AS REQUIRED FOR THE INSTALLATION OF THE NEW HOISTWAY ROOFING SYSTEM & TERMINATION BAR. REFER TO DETAIL A-6 ON SHEET A-3.
 - 23 EXISTING ROOF PARAPET WALL TO REMAIN.
 - 24 EXISTING CEILING TO REMAIN.
 - 25 GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED SITE WORK & UNDER SLAB WORK INCLUDING BUT NOT LIMITED TO SHORING, SAW CUTTING, EXCAVATION, BACKFILLING, COMPACTING, NEW SLAB PREPARATION & RE-GRADING.
 - 26 EXISTING STONE BASE TO BE SAW-CUT, MODIFIED AND OR REMOVED AS REQUIRED FOR THE NEW ELEVATOR ACCESS OPENING.
 - 27 EXISTING DOOR FRAME & HARDWARE ARE TO BE REMOVED.

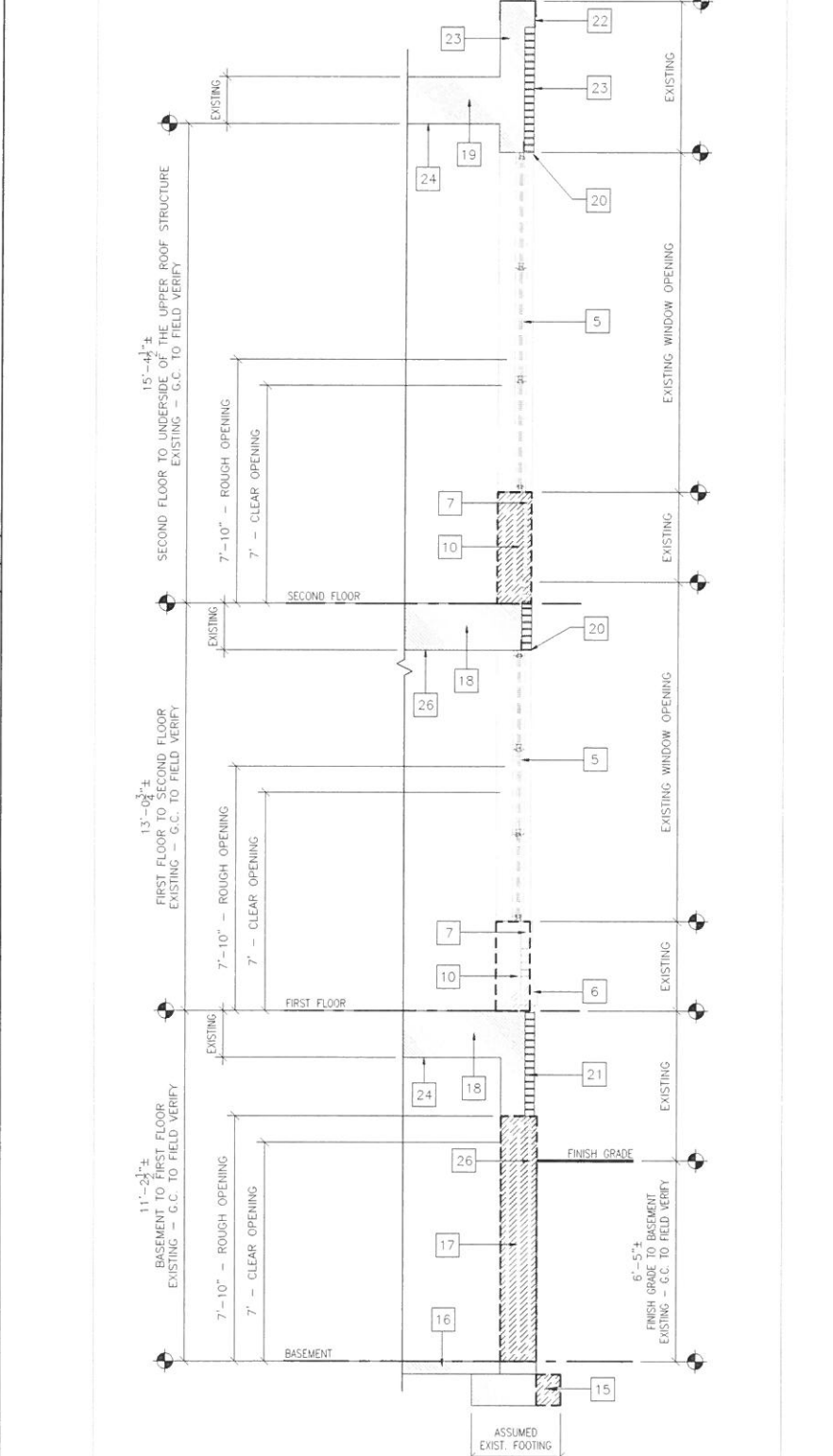
A-6 DEMOLITION KEY NOTES

A-1 NOT TO SCALE

- GENERAL DEMOLITION NOTES:**
1. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE ANY WORK BEGINS. GENERAL CONTRACTOR TO ADVISE THE ARCHITECT OF ANY DISCREPANCIES.
 2. GENERAL CONTRACTOR TO CONTACT "DIG SAFE" BEFORE ANY WORK BEGINS.
 3. GENERAL CONTRACTOR TO TEMPORARILY SHORE EXISTING CONDITIONS AS REQUIRED TO PERFORM ALL WORK.
 4. PARTITIONS, FLOORS AND CEILINGS, ADJACENT TO PARTITIONS TO BE REMOVED/MODIFIED, SHALL BE CLEANED, PREPARED AND/OR IN-FILLED AS REQUIRED FOR THE INSTALLATION OF NEW FINISHES / MATERIALS.
 5. ALL UN-USED ELECTRICAL & PLUMBING ARE TO BE CUT BACK AND CAPPED IN ACCORDANCE TO ALL APPLICABLE CODES.
 6. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED SITE WORK & UNDER SLAB WORK INCLUDING BUT NOT LIMITED TO SAW CUTTING, EXCAVATION, BACKFILLING, COMPACTING, NEW SLAB PREPARATION, RE-GRADING & RE-PAVING.

E-6 DEMOLITION NOTES

A-1 NOT TO SCALE



A-12 EXISTING/DEMO SECTION @ EXTERIOR PARTITION

A-1 3/8"=1'-0"

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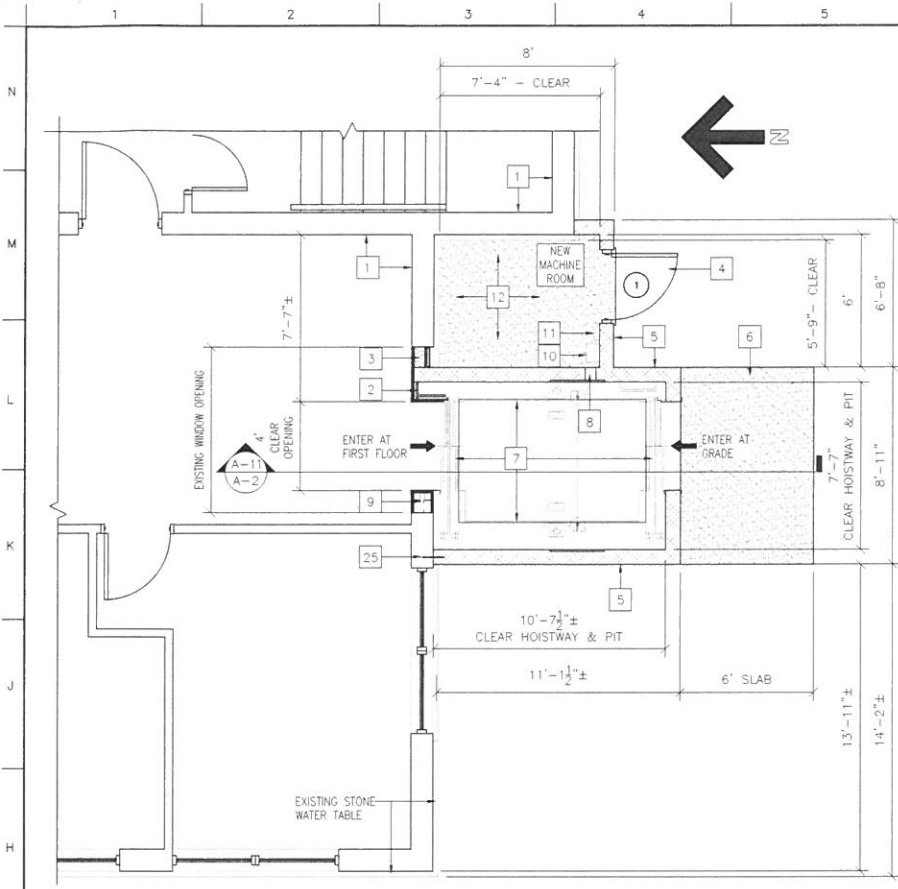
**PROPOSED ELEVATOR & HOIST WAY
 AT WIXON SCHOOL
 263 HAMLET STREET
 FALL RIVER, MA**

**- EXISTING/DEMO BASEMENT PLAN
 - EXISTING/DEMO FIRST FLOOR/GRADE PLAN
 - EXISTING/DEMO SECOND FLOOR PLAN
 - EXISTING/DEMO SECTION AT EXISTING PARTITION**

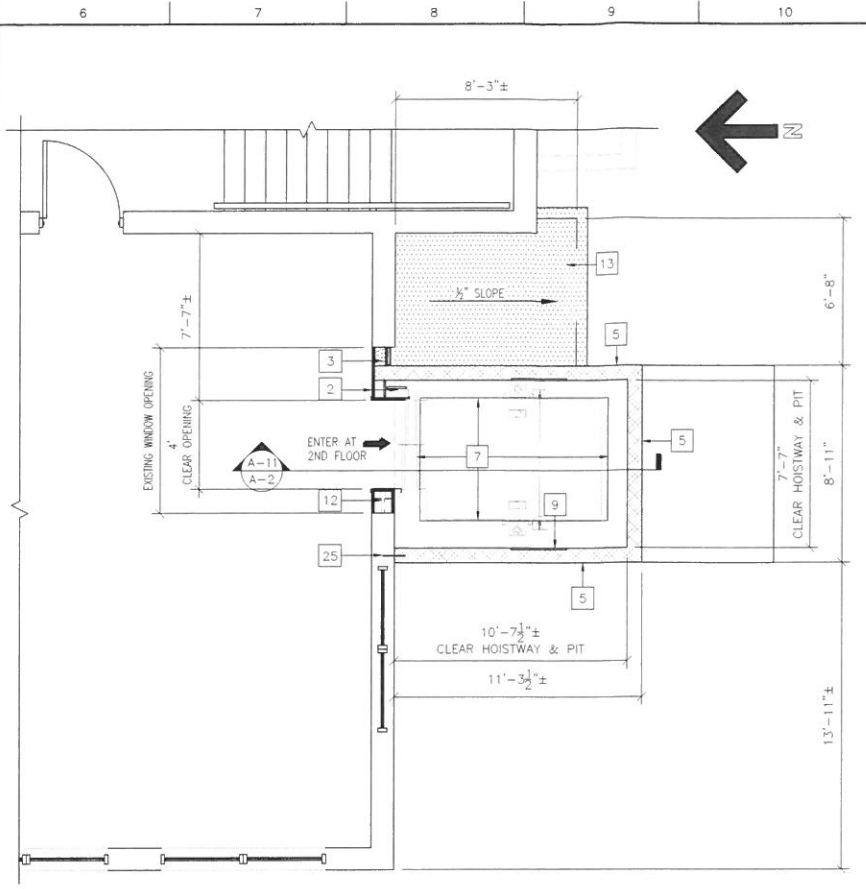
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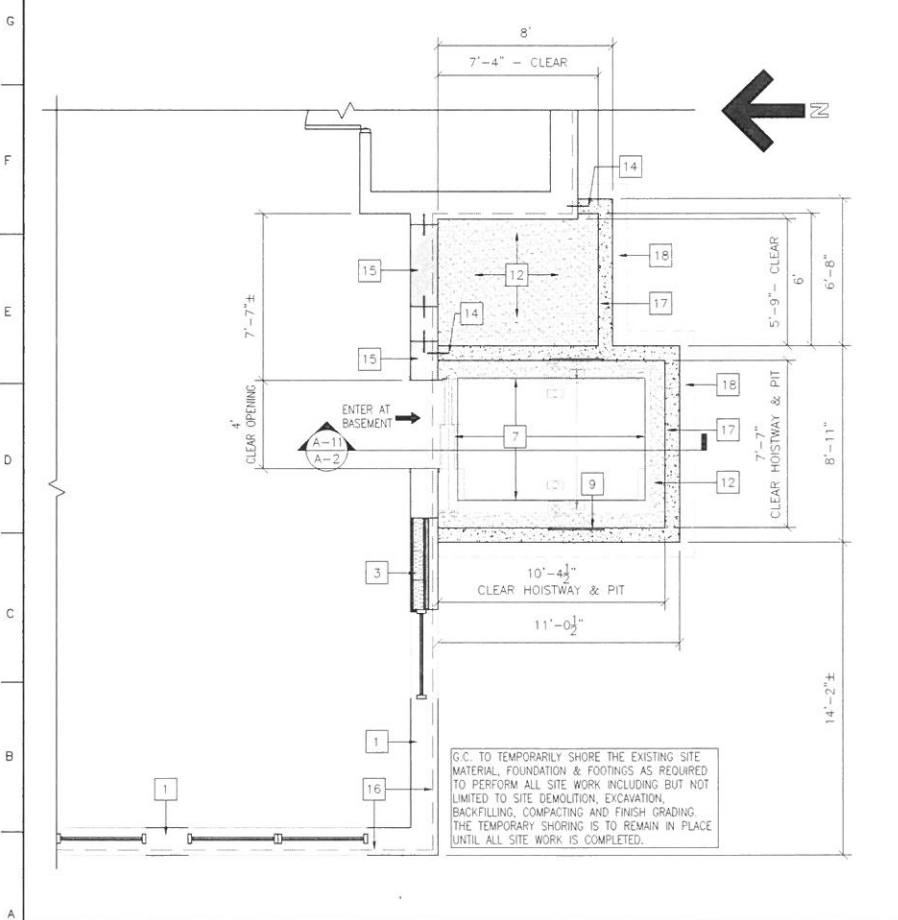
A-1



G-1 PROPOSED GRADE / FIRST FLOOR ELEVATOR PLAN
A-2 1/4"=1'-0"



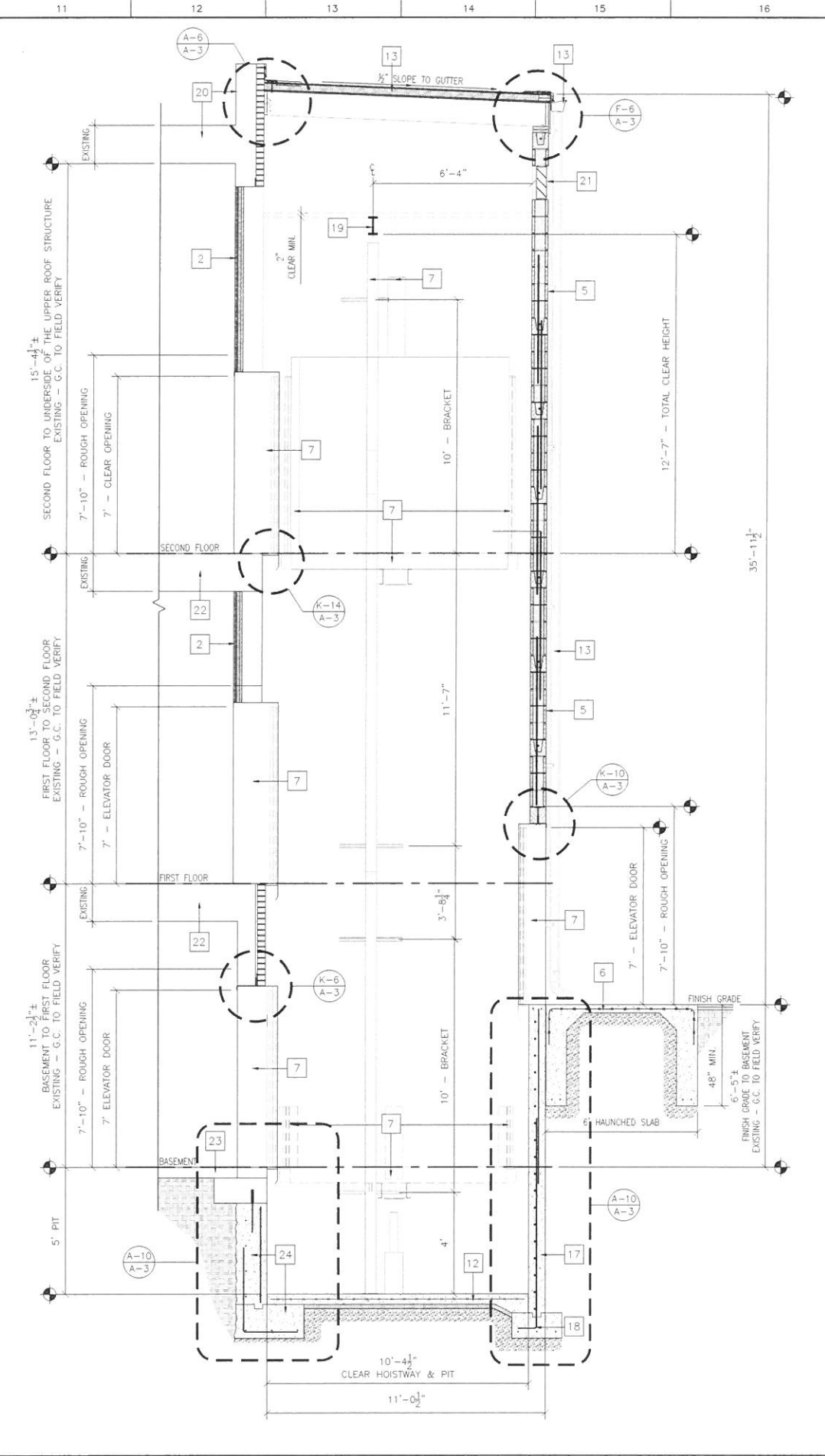
G-6 PROPOSED SECOND FLOOR ELEVATOR PLAN
A-2 1/4"=1'-0"



A-1 PROPOSED BASEMENT ELEVATOR PLAN
A-2 1/4"=1'-0"

- PROPOSED KEY NOTES: A-2**
- EXISTING WALLS ARE TO REMAIN.
 - INSTALL A NEW 2 HOUR RATED SHAFT WALL INCLUDING 2 $\frac{1}{2}$ "-20ga METAL FRAMING W/ 2 LAYERS, $\frac{5}{8}$ " FIRE RATED GYP. BD. ON OUTER WALL, 1" SHAFTWALL LINER PANEL, 1 $\frac{1}{2}$ " THERMA-FIBER INSULATION.
 - INSTALL 2 LAYERS OF $\frac{5}{8}$ " FIRE RATED GYP. BD. ON 6"-20 GAUGE METAL STUD FRAMING, R-21 BATT INSULATION, 2" ALUMINUM INSULATED PANEL ON $\frac{3}{4}$ " EXTERIOR GRADE PLYWOOD SHEATHING ON OUTER WALL. INSTALL CAULK AND BACKEROD AROUND THE ENTIRE PERIMETER OF THE INSULATED WALL PANELS.
 - NEW STEEL INSULATED DOOR, FRAME AND HARDWARE AS SCHEDULED. NEW DOOR & FRAME TO BE PAINTED WITH 1 COAT PRIMER AND 2 COATS FINISH. COLORS TO BE SELECTED BY OWNER.
 - NEW 8" CMU BLOCK SHAFT ENCLOSURE W/ #5 REBARS @ 32" O.C. - VERTICALLY - TYP. FILL CORES SOLID WITH HORIZONTAL TRUSS TYPE REINFORCING AT EVERY SECOND COURSE. INSTALL A BOND BEAM WITH A CONTINUOUS #5 BAR AT EVERY FIFTH COURSE.
 - NEW 4" THICK HAUNCHED CONCRETE SLAB FOR FUTURE ENTRANCE ENCLOSURE BY OWNER. HAUNCHES ARE TO EXTEND 48" MINIMUM BELOW FINISH GRADE.
 - NEW ELEVATOR ASSEMBLY EQUAL TO "OTIS" HYDROFIT 4510R - MODEL HYDROFIT HOSPITAL 4500# @100 F.P.M. - SEISMIC 2. G.C. TO PROVIDE ALL REQUIRED SUPPORTS, EQUIPMENT, DOOR & SILL ASSEMBLIES, ECT. IN THE HOIST WAY IN ACCORDANCE WITH THE ELEVATOR MANUFACTURER'S REQUIREMENTS.
 - PROVIDE WALL PENETRATIONS IN ACCORDANCE WITH ELEVATOR MANUFACTURER'S REQUIREMENTS.
 - INSTALL 2 LAYERS OF $\frac{5}{8}$ " FIRE RATED GYP. BD. ON EACH SIDE OF 4"-20 GAUGE METAL STUD FRAMING.
 - NEW MAINLINE ELECTRICAL DISCONNECT IN ACCORDANCE WITH THE ELEVATOR MANUFACTURER'S REQUIREMENTS.
 - NEW LIGHT SWITCH.
 - NEW 4" THICK CONCRETE SLAB REINFORCED WITH 6X6-W1.0XW1.0 WELDED WIRE FABRIC AT MID POINT OF SLAB.
 - NEW ROOF STRUCTURE INCLUDING 60 MIL EPDM RUBBER ON $\frac{1}{2}$ " DENS DECK ON 3" RIGID INSULATION ON $\frac{3}{4}$ " PLYWOOD SHEATHING ON 2X10 WOOD RAFTERS @ 16" O.C. NEW ROOF STRUCTURE WILL ALSO INCLUDE METAL COPING ALONG EXPOSED EDGES, ALUMINUM GUTTER AND DOWNSPOUTS.
 - #5 DOMELS - 12" LONG @ 12" O.C. VERTICALLY. PRE-DRILL & AND EPOXY INTO EXISTING FOUNDATION WALL & FOOTING.
 - INFILL EXISTING OPENINGS WITH 12" THICK MINIMUM OF CONCRETE. INSTALL #5 DOMELS - 12" LONG @ 12" O.C. ALONG THE ENTIRE PERIMETER OF THE EXISTING OPENING. PRE-DRILL & AND EPOXY INTO EXISTING FOUNDATION WALL.
 - OUTLINE OF THE EXISTING BRICK MASONRY ABOVE THE EXISTING STONE WATER TABLE. G.C. TO FIELD VERIFY EXISTING CONDITIONS.
 - 8" CONCRETE FOUNDATION WALL WITH #4 CONTINUOUS BARS @ 12" O.C. VERTICAL AND #6 CONTINUOUS BARS @ 8" O.C. HORIZONTAL.
 - 2'-0"x1'-0" CONTINUOUS CONCRETE FOOTING WITH 3-#4 CONTINUOUS BARS.
 - NEW HOIST WAY BEAM.
 - EXISTING ROOF STRUCTURE AND PARAPET WALL TO REMAIN.
 - NEW 32" WIDE X 16" HIGH ELEVATOR SMOKE DAMPER VENT EQUAL TO GREENHECK MODEL - SMD-201. G.C. TO PROVIDE AND INSTALL ALL ELECTRICAL REQUIREMENTS IN ACCORDANCE TO MANUFACTURER'S REQUIREMENTS. CAULK THE THE OUTER PERIMETER OF THE VENT OPENING WATERTIGHT.
 - EXISTING FLOOR STRUCTURE TO REMAIN.
 - EXISTING SLAB TO REMAIN.
 - NEW REINFORCED CONCRETE PIT FOUNDATION WALL & FOOTING. THE NEW WALL & FOOTING ARE TO BE LOCATED BELOW THE EXISTING FOOTING AS SHOWN ON DETAIL A-10 ON SHEET A-3.
 - #5 DOMELS - 12" LONG @ EVERY FIFTH COURSE (AT BOND BEAM COURSES). PRE-DRILL & AND EPOXY INTO EXISTING MASONRY.

A-6 PROPOSED KEY NOTES.
A-2 NOT TO SCALE



A-11 PROPOSED SECTION @ ELEVATOR HOIST WAY
A-2 3/8"=1'-0"

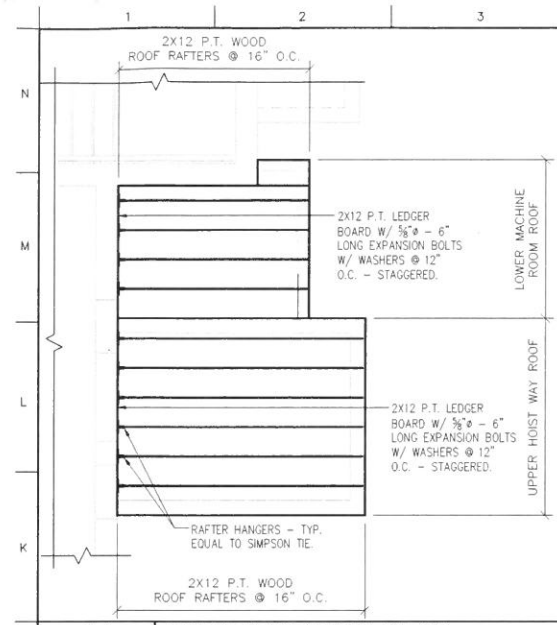
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**PROPOSED ELEVATOR & HOIST WAY
 AT WIXON SCHOOL
 263 HAMLET STREET
 FALL RIVER, MA**

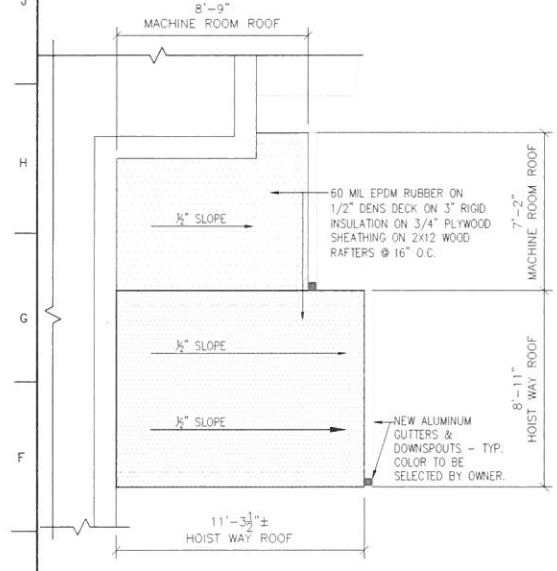
**PROPOSED BASEMENT ELEVATOR PLAN
 PROPOSED FIRST FLOOR/GRADE ELEVATOR PLAN
 PROPOSED SECOND FLOOR ELEVATOR PLAN
 KEY NOTES
 SECTION AT ELEVATOR HOIST WAY**

PROJECT NO: 922
 CAD FILE: WIXON SCHOOL ELEV.
 DRAWN BY: DVR
 SCALE: AS NOTED
 DATE: APRIL 8, 2015
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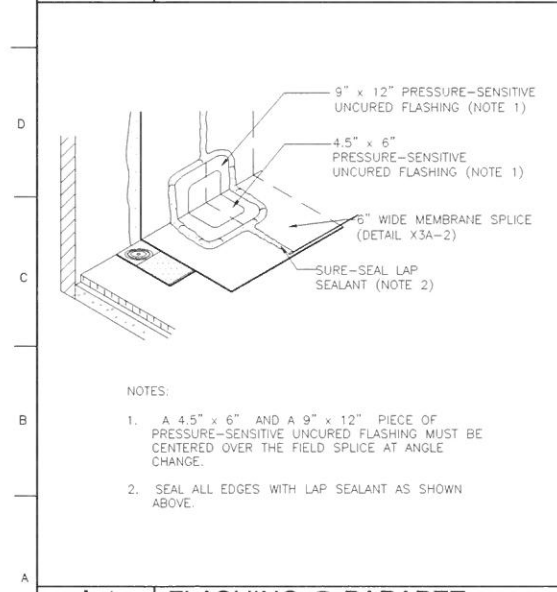
DRAWING NO:
A-2



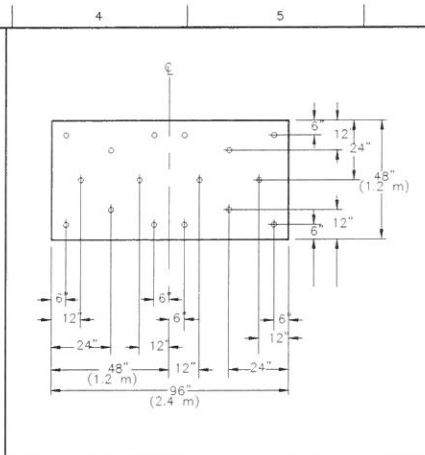
J-1 ROOF FRAMING PLAN
A-3 1/4"=1'-0"



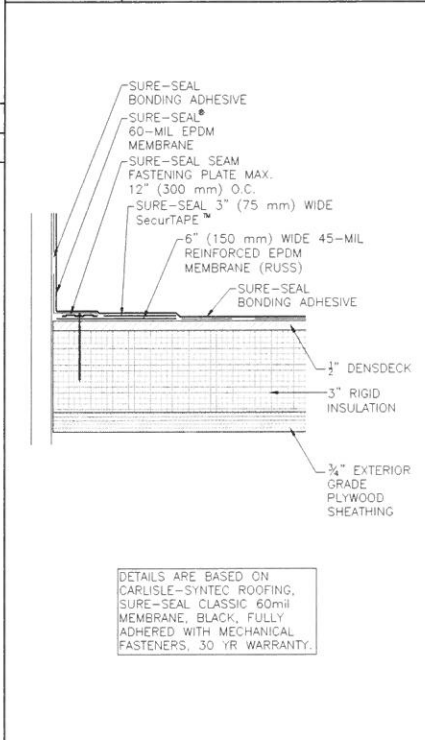
E-1 ROOF PLAN
A-3 1/4"=1'-0"



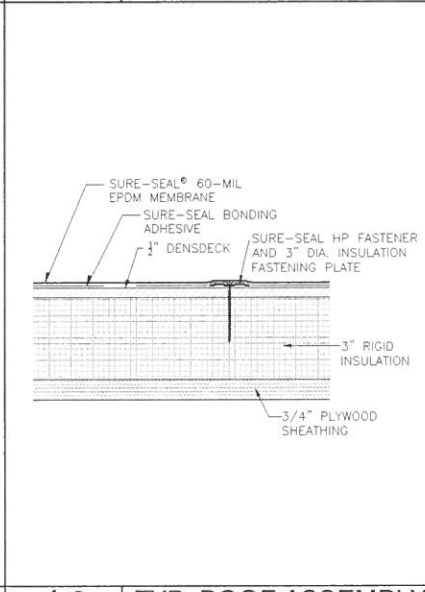
A-1 FLASHING @ PARAPET
A-3 NOT TO SCALE



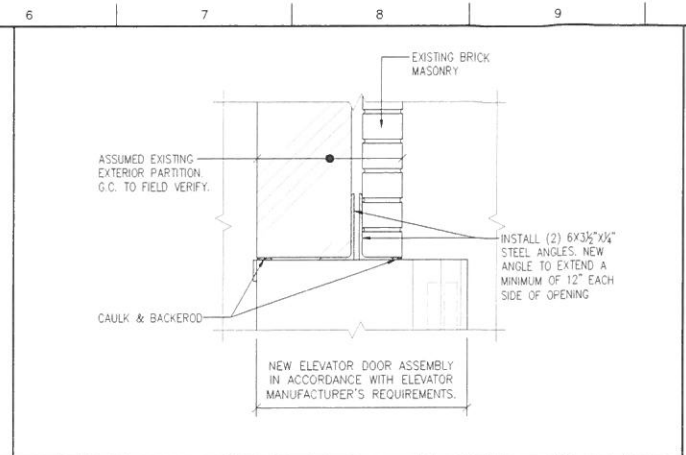
K-3 PLATE ATTACHMENT
A-3 NOT TO SCALE



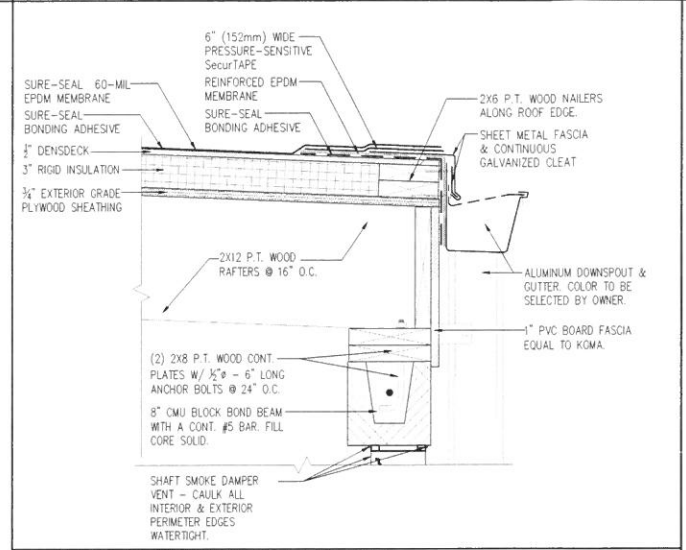
E-3 FLASHING @ PARAPET
A-3 NOT TO SCALE



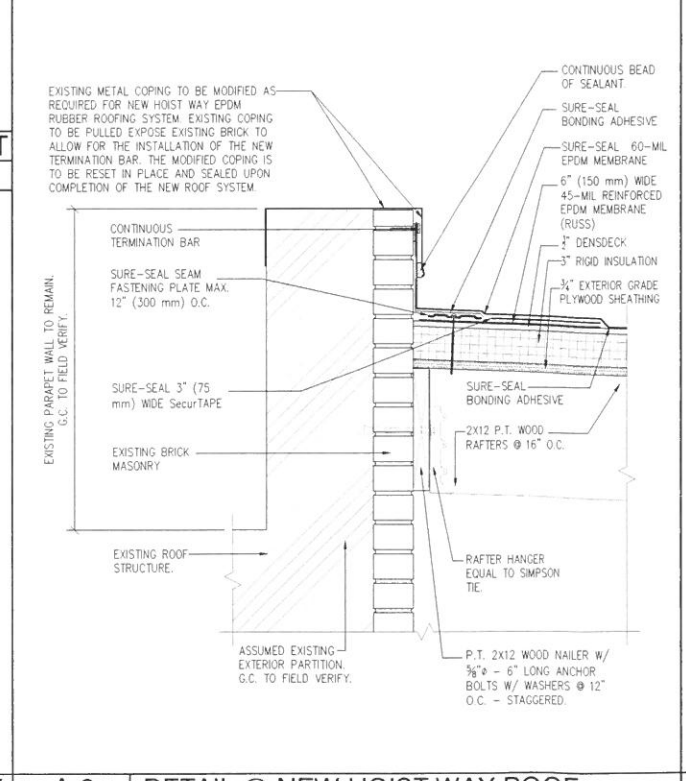
A-3 TYP. ROOF ASSEMBLY
A-3 NOT TO SCALE



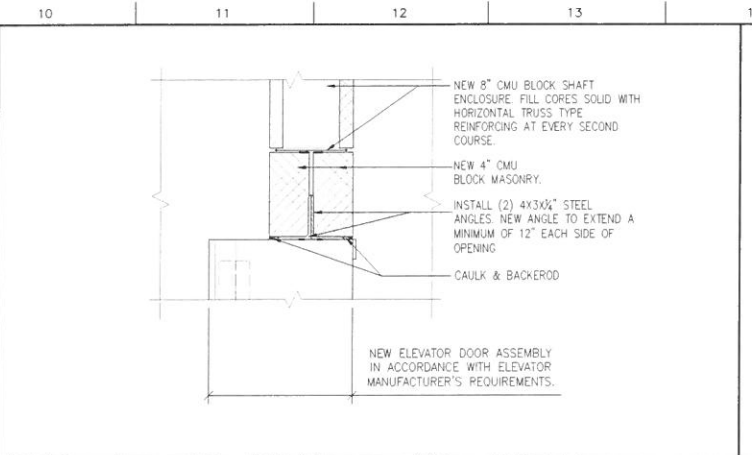
K-6 LINTEL DETAIL @ EXISTING WALL
A-3 1-1/2"=1'-0"



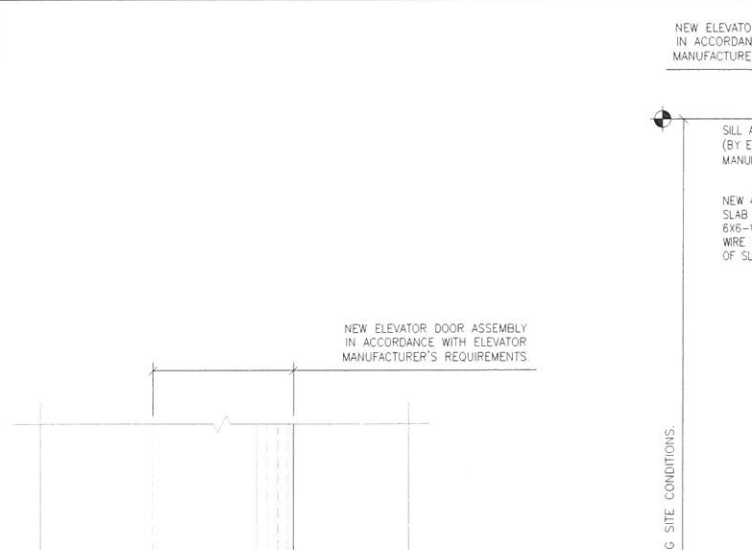
F-6 ROOF EDGE DETAIL
A-3 1-1/2"=1'-0"



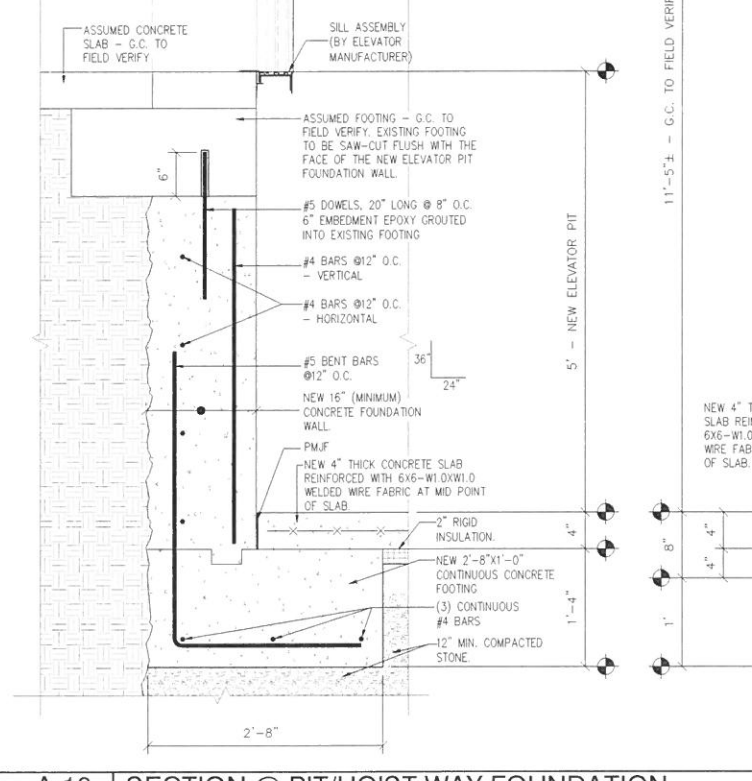
A-6 DETAIL @ NEW HOIST WAY ROOF
A-3 1-1/2"=1'-0"



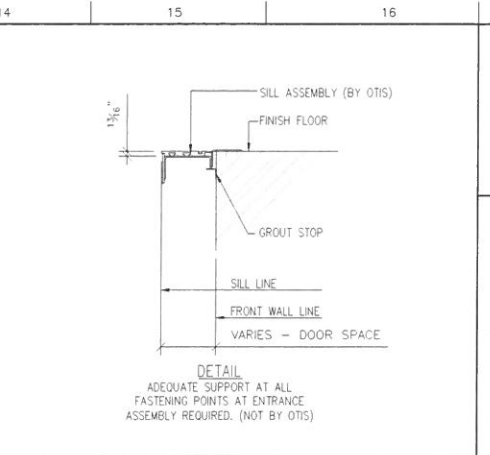
K-10 LINTEL DETAIL @ NEW HOIST WAY DOOR
A-3 1-1/2"=1'-0"



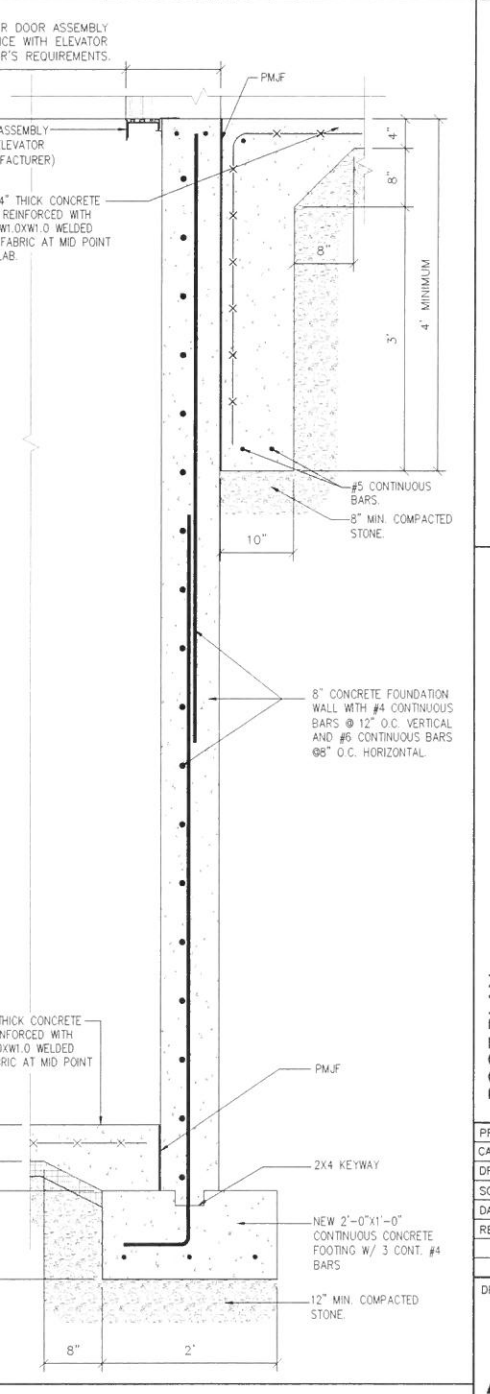
A-10 SECTION @ PIT/HOIST WAY FOUNDATION
A-3 1"=1'-0"



A-10 SECTION @ PIT/HOIST WAY FOUNDATION
A-3 1"=1'-0"



K-14 SILL ASSEMBLY DETAIL
A-3 1-1/2"=1'-0"



A-3

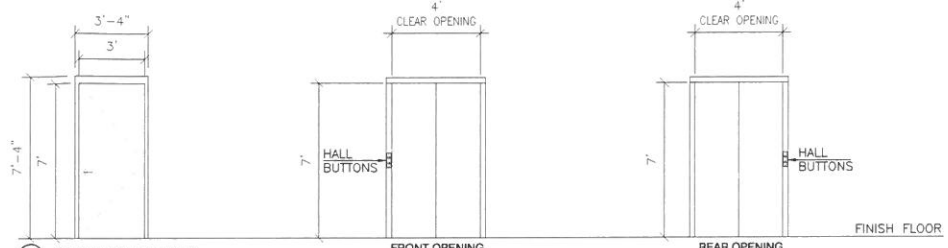
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PROPOSED ELEVATOR & HOIST WAY
AT WIXON SCHOOL
263 HAMLET STREET
FALL RIVER, MA

ROOF PLAN
ROOF FRAMING PLAN
ROOF DETAILS
SECTIONS & DETAILS

PROJECT NO: 922
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DRAWING NO: **A-3**



1 GALVANIZED INSULATED STEEL DOOR WITH PAINTED FINISH. DOOR & FRAME TO BE PAINTED WITH 1 COAT PRIMER & 2 COATS FINISH PAINT. COLOR TO BE SELECTED BY OWNER.

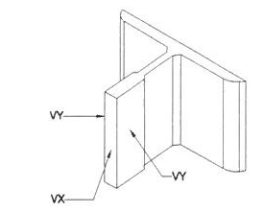
FRONT OPENING
HALL FIXTURE DETAIL & DOOR. HALL BUTTONS AT EVERY FLOOR. NEW DOOR ASSEMBLY TO BE SUPPLIED AND INSTALLED BY THE ELEVATOR MANUFACTURER.

REAR OPENING
HALL FIXTURE DETAIL & DOOR. HALL BUTTONS AT EVERY FLOOR. NEW DOOR ASSEMBLY TO BE SUPPLIED AND INSTALLED BY THE ELEVATOR MANUFACTURER.

DOOR SCHEDULE						DOOR HARDWARE	
MARK	H x W	MATERIAL	FRAME	HARDWARE	REMARKS	SET #	DOOR
1	3'0" x 7'0"	STEEL	STEEL	1	90 MINUTE FIRE RATED DOOR ASSEMBLY THRESHOLD AND WEATHERSTRIPPING	#1	1

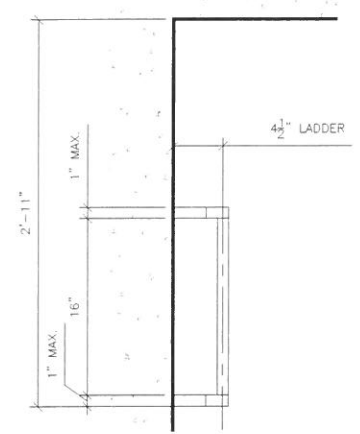
DOOR HARDWARE
1 1/2" PAIR BUTTS
STORAGE FUNCTION
LEVER HANDLES
3-SILENCERS
WALL STOP

DOOR NOTES:
1. NEW STEEL INSULATED DOOR & FRAME TO BE PAINTED WITH 1 COAT PRIMER & 2 COATS FINISH PAINT. COLOR TO BE SELECTED BY OWNER.



RAIL FORCE DETAIL
*THIS FORCE INCLUDES IMPACT

CAR	VX	1189 lbs
	VY	584 lbs
*EACH BUFFER IMPACT LOAD		17000 lbs
*EACH CYLINDER IMPACT LOAD		10616 lbs
CAR MAXIMUM BRACKET SPACING		14' 0"



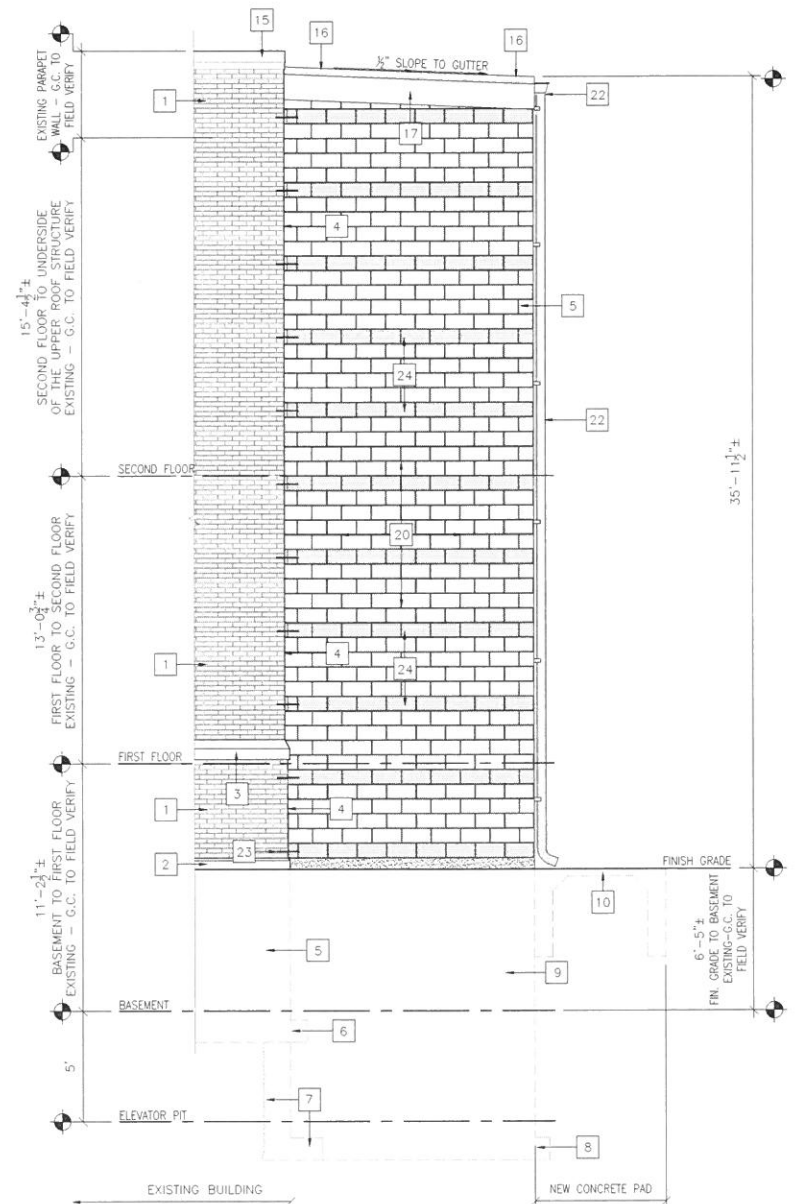
K-1 DOOR ELEVATIONS & SCHEDULES
A-4 1/4"=1'-0"

K-7 FORCE RAIL DETAIL
A-4 NOT TO SCALE

K-9 LADDER & POCKET DETAIL
A-4 1-1/2" = 1'-0"

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**PROPOSED ELEVATOR & HOIST WAY
AT WIXON SCHOOL
263 HAMLET STREET
FALL RIVER, MA**



A-1 PROPOSED WEST ELEVATION
A-4 1/4"=1'-0"



A-7 PROPOSED SOUTH ELEVATION
A-4 1/4"=1'-0"

- PROPOSED KEY NOTES: A-4**
- EXISTING BRICK VENEER TO REMAIN.
 - EXISTING STONE BASE TO BE MODIFIED AS REQUIRED FOR THE NEW ELEVATOR DOOR OPENING.
 - EXISTING STONE WATER TABLE TO BE MODIFIED AS REQUIRED FOR THE NEW ELEVATOR DOOR OPENING.
 - G.C. TO SCRIBE IN NEW CMU MASONRY BLOCK TO FOLLOW THE FACE OF THE EXISTING BUILDING FACADE.
 - EXISTING CONCRETE FOUNDATION WALL TO BE SAW-CUT & MODIFIED AS REQUIRED FOR THE NEW ELEVATOR DOOR OPENING.
 - EXISTING CONCRETE FOOTING TO BE SAW-CUT & MODIFIED AS REQUIRED TO BE FLUSH WITH THE INTERIOR FACE OF THE NEW ELEVATOR PIT FOUNDATION WALL. THE EXISTING BUILDING STRUCTURE IS TO BE TEMPORARILY SHORED AS REQUIRED TO PERFORM ALL UNDER SLAB WORK.
 - NEW REINFORCED CONCRETE PIT FOUNDATION WALL & FOOTING. THE NEW WALL & FOOTING ARE TO BE LOCATED BELOW THE EXISTING AS SHOWN ON DETAIL A-10 ON SHEET A-3.
 - NEW 2'-0"x1'-0" CONTINUOUS CONCRETE FOOTING WITH 3-#4 CONTINUOUS BARS. REFER TO DETAIL A-10 ON SHEET A-3.
 - NEW 8" CONCRETE FOUNDATION WALL WITH #4 CONTINUOUS BARS @ 12" O.C. VERTICAL AND #6 CONTINUOUS BARS @ 8" O.C. HORIZONTAL. REFER TO DETAIL A-10 ON SHEET A-3.
 - NEW 4" THICK HAUNCHED CONCRETE SLAB FOR FUTURE ENTRANCE ENCLOSURE BY OWNER. HAUNCHES ARE TO EXTEND 48" MINIMUM BELOW FINISH GRADE. REFER TO DETAIL A-10 ON SHEET A-3.
 - NEW STEEL INSULATED DOOR, FRAME AND HARDWARE AS SCHEDULED. NEW DOOR & FRAME TO BE PAINTED WITH 1 COAT PRIMER AND 2 COATS FINISH. COLORS TO BE SELECTED BY OWNER.
 - NEW ELEVATOR ASSEMBLY EQUAL TO "OTIS" HYDROFIT 4510R - MODEL HYDROFIT HOSPITAL 4500# @100 F.P.M. - SEISMIC 2. G.C. TO PROVIDE ALL REQUIRED SUPPORTS AND EQUIPMENT, ECT. IN THE HOIST WAY IN ACCORDANCE WITH THE ELEVATOR MANUFACTURER'S REQUIREMENTS.
 - EXISTING STONE WINDOW SILL TO BE SAWCUT, MODIFIED &/OR REMOVED AS REIRED FOR THE INSTALLATION OF THE NEW ELEVATOR DOOR OPENING.
 - EXISTING WINDOW UNITS ARE TO REMAIN. THE EXISTING WINDOW UNITS LOCATED WITHIN THE ELEVATOR HOIST WAY ARE TO BE REMOVED AND THE EXISTING OPENINGS ARE TO BE CLEANED AND PREPARED AS REQUIRED FOR THE NEW ELEVATOR DOOR OPENINGS.
 - EXISTING METAL COPING IS TO BE SAW-CUT &/OR MODIFIED AS REQUIRED FOR THE INSTALLATION OF THE NEW HOISTWAY ROOFING SYSTEM & TERMINATION BAR. REFER TO DETAIL A-6 ON SHEET A-3.
 - NEW ROOF STRUCTURE INCLUDING 60 MIL EPDM RUBBER ON 3/8" DENS DECK ON 3" RIGID INSULATION ON 3/4" PLYWOOD SHEATHING ON 2X10 WOOD RAFTERS @ 16" O.C. NEW ROOF STRUCTURE WILL ALSO INCLUDE METAL COPING ALONG EXPOSED EDGES, ALUMINUM GUTTER AND DOWNSPOUTS.
 - NEW 1" PVC BOARD FASCIA BOARD.
 - INSTALL 2 LAYERS OF 5/8" FIRE RATED GYP. BD. ON 6"-20 GAUGE METAL STUD FRAMING, R-21 BATT INSULATION, 2" INSULATED PANEL ON 3/4" EXTERIOR GRADE PLYWOOD SHEATHING ON OUTER WALL. INSTALL CAULK AND BACKEROD AT ALL EDGES OF EXPOSED INSULATED PANEL.
 - EXISTING WINDOW UNITS ARE TO BE MODIFIED AS REQUIRED FOR THE NEW ELEVATOR DOOR OPENING.
 - NEW 8" CMU BLOCK SHAFT ENCLOSURE W/ #5 REBARS @ 32" O.C. - VERTICALLY - TYP FILL CORES SOLID WITH HORIZONTAL TRUSS TYPE REINFORCING AT EVERY SECOND COURSE. INSTALL A BOND BEAM WITH A CONTINUOUS #5 BAR AT EVERY FIFTH COURSE.
 - NEW 32" WIDE X 16" HIGH ELEVATOR SMOKE DAMPER VENT EQUAL TO GREENHECK MODEL - SMD-201. G.C. TO PROVIDE AND INSTALL ALL ELECTRICAL REQUIREMENTS IN ACCORDANCE TO MANUFACTURER'S REQUIREMENTS. CAULK THE THE OUTER PERIMETER OF THE VENT OPENING WATERTIGHT.
 - NEW ALUMINUM GUTTER & DOWNSPOUTS. COLOR TO BE SELECTED BY THE OWNER.
 - #5 DOMELS - 12" LONG @ EVERY FIFTH COURSE (AT BOND BEAM COURSES). PRE-DRILL & AND EPOXY INTO EXISTING MASONRY.
 - A BOND BEAM WITH A CONTINUOUS #5 BAR AT EVERY FIFTH COURSE.

A-13 ELEVATION KEY NOTES
A-4 NOT TO SCALE

**PROPOSED WEST ELEVATION
PROPOSED SOUTH ELEVATION
KEY NOTES
DOOR ELEVATIONS & SCHEDULES
DETAILS**

PROJECT NO: 922
CAD FILE: WIXON SCHOOL ELEV.
DRAWN BY: DVR
SCALE: AS NOTED
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REV:

DRAWING NO.:
A-4

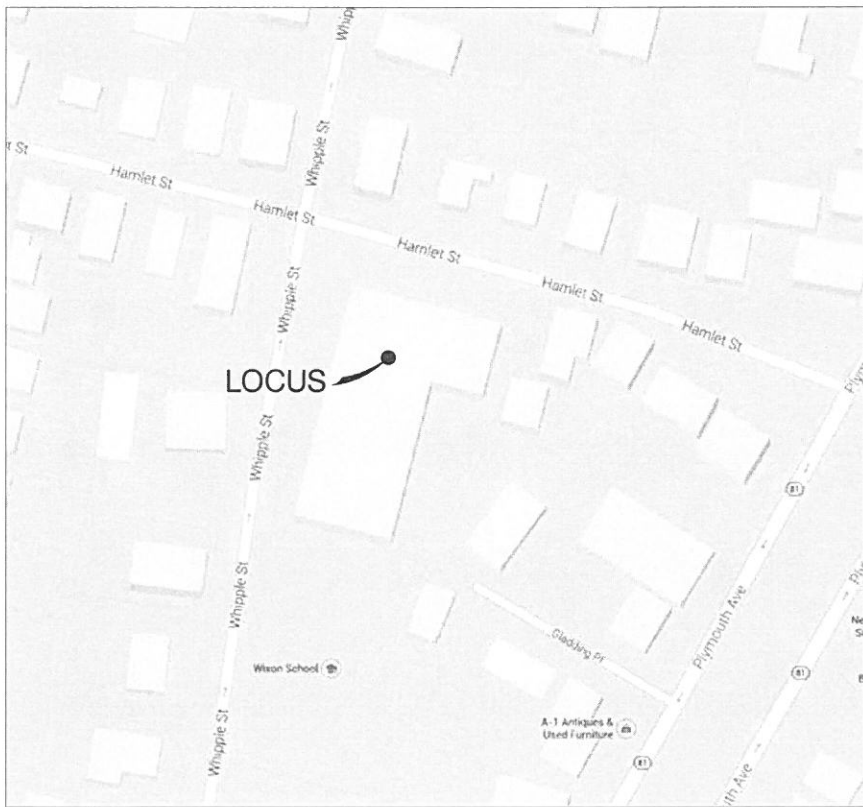
PROPOSED INTERIOR RENOVATIONS AT WIXON SCHOOL

263 HAMLET STREET
FALL RIVER, MASSACHUSETTS

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PROPOSED INTERIOR RENOVATIONS
AT WIXON SCHOOL
263 HAMLET STREET
FALL RIVER, MA

G-1 PROJECT TITLE
T-1 NOT TO SCALE



A-1 LOCUS MAP
T-1 NOT TO SCALE

CODE COMPLIANCE

Base Code: 2009 International Building Code with Massachusetts Amendments

	Allowable (E) Educational	Actual (E) Educational	Reference
Occupancy Classification	(E) Educational	(E) Educational	SECTION 305
Construction Classification	Type 3B	Type 3B	SECTION 602.3
Minimum Fire Resistance of Structural Elements			TABLE 601
<ul style="list-style-type: none"> Structural Frame Bearing Walls <ul style="list-style-type: none"> Exterior Interior Nonbearing Walls and Partitions Floor Construction Roof Construction 	0 2 0 0 0 0	0 2 0 0 0 0	
Building Area	14,500 s.f.	41,065 s.f.	TABLE 503
Building Height	55 feet	45 feet	TABLE 503
Number of Stories	2	2	TABLE 503
Maximum Occupant Load	20 Net (Classroom Area) = 13,893 s.f. 50 Net (Shops & other vocational room areas) = 27,172 s.f.	Occupants Classrooms = 694 Other Areas = 543 Total = 1,237 Occupants	TABLE 1004.1.1
Maximum Travel Distance	200 feet (without sprinklers) 250 feet (with sprinklers)	170 feet	TABLE 1016.1
Egress Width per Occupant	0.2 Inches/Occupant = 247 inches	362 Inches	SECTION 1005.1
Number of Exits	2 Exits	5 Exits	TABLE 1021.1

A-6 CODE COMPLIANCE DATA
T-1 NOT TO SCALE

DWG.	TITLE	REVISION
T-1	Title Sheet, Locus Map, Code Compliance Data, List of Drawings	
A-1	Existing Basement Plan	
A-2	Proposed Basement Plan, Notes & Details	
A-3	Existing First Floor Plan	
A-4	Proposed First Floor Plan, Notes & Details	
A-5	Existing Second Floor Plan	
A-6	Proposed Second Floor Plan, Notes & Details	

A-10 LIST OF DRAWINGS
T-1 NOT TO SCALE

PROGRESS DRAWINGS 4.8.14

TITLE SHEET
- LOCUS MAP
- CODE COMPLIANCE DATA
- LIST OF DRAWINGS

PROJECT NO: 809
CAD FILE: WIXON SCHOOL
DRAWN BY: DVR
SCALE: AS NOTED
DATE: APRIL 11, 2014
REV:

DRAWING NO.:

T-1

1. G.C. TO CLEAN AND PREPARE ALL SURFACES AS REQUIRED FOR NEW WORK.
2. G.C. TO TEMPORARILY SHORE EXISTING STRUCTURE AS REQUIRED TO PERFORM ALL WORK.
2. ALL FINISHES, MATERIALS AND COLORS ARE TO BE SELECTED BY OWNER. G.C. TO COORDINATE WITH OWNER.
3. EXISTING ACOUSTICAL CEILING TILE AND GRID SYSTEMS ARE TO BE MODIFIED AND REINSTALLED AS REQUIRED FOR NEW WORK.

LEGEND	
	EXISTING PARTITIONS
	TO BE REMOVED &/OR MODIFIED
	EXISTING DOOR
	NEW WINDOW

PROGRESS DRAWINGS 4.8.14

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PROPOSED INTERIOR RENOVATIONS
 AT WIXON SCHOOL
 263 HAMLET STREET
 FALL RIVER, MA

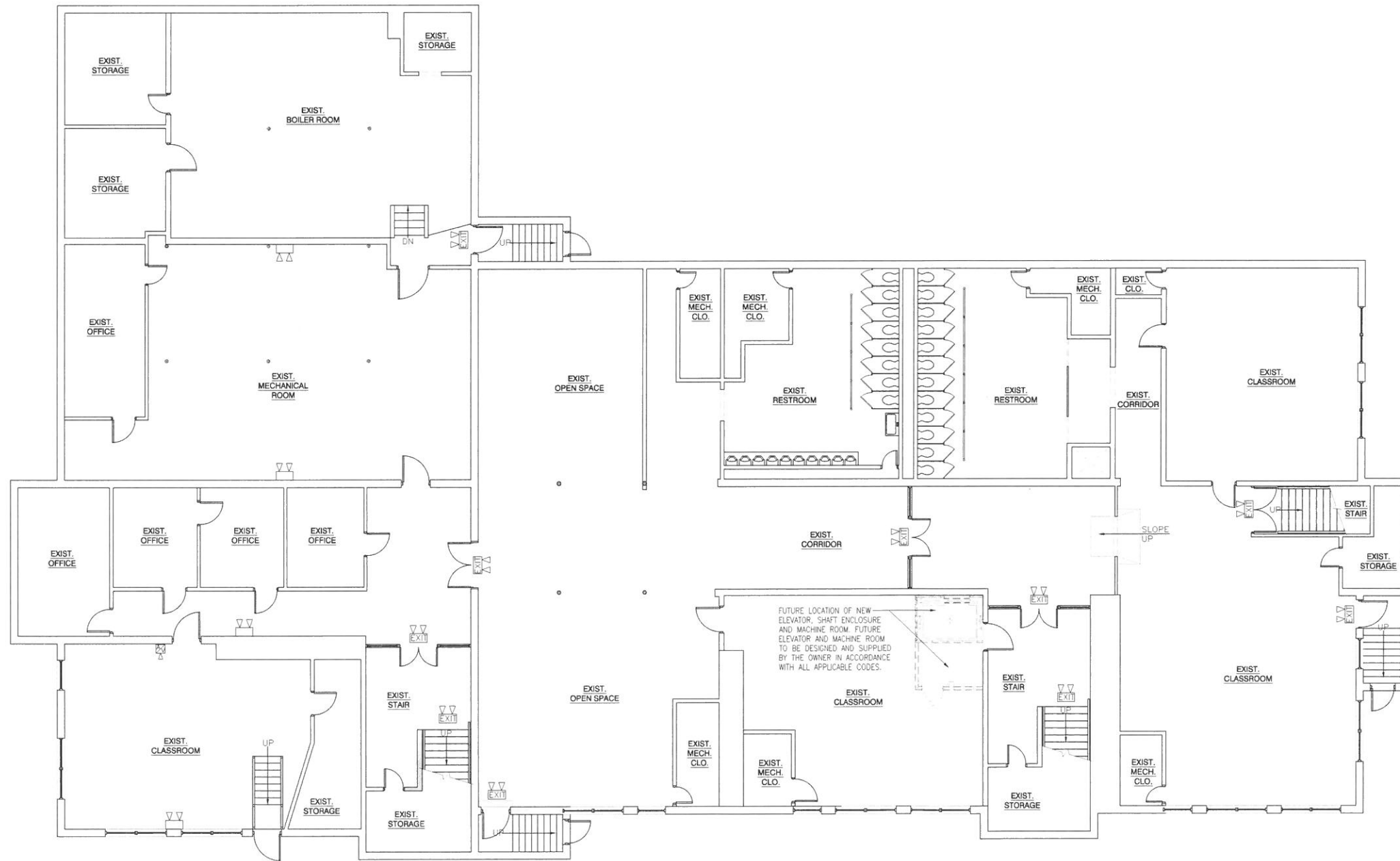
- EXISTING BASEMENT FLOOR PLAN

PROJECT NO:	809
CAD FILE:	WIXON SCHOOL
DRAWN BY:	DVR
SCALE:	AS NOTED
DATE:	APRIL 11, 2014
REV:	

DRAWING NO.:

A-1

A-1 EXISTING BASEMENT FLOOR PLAN
 A-1 1/8"=1'-0"



LEGEND

[Symbol]	EXISTING PARTITIONS	[Symbol]	EMERGENCY LIGHT
[Symbol]	NEW PARTITIONS	[Symbol]	EXIT SIGN W/ EMERGENCY LIGHT
[Symbol]	EXISTING DOORS	[Symbol]	PULL STATION
[Symbol]	NEW DOORS	[Symbol]	AUDIO/VISUAL DEVICE
[Symbol]		[Symbol]	EMERGENCY LIGHT
[Symbol]		[Symbol]	VISUAL ONLY DEVICE

A-1 PROPOSED BASEMENT FLOOR PLAN
 A-2 1/8"=1'-0"

PROGRESS DRAWINGS 4.8.14

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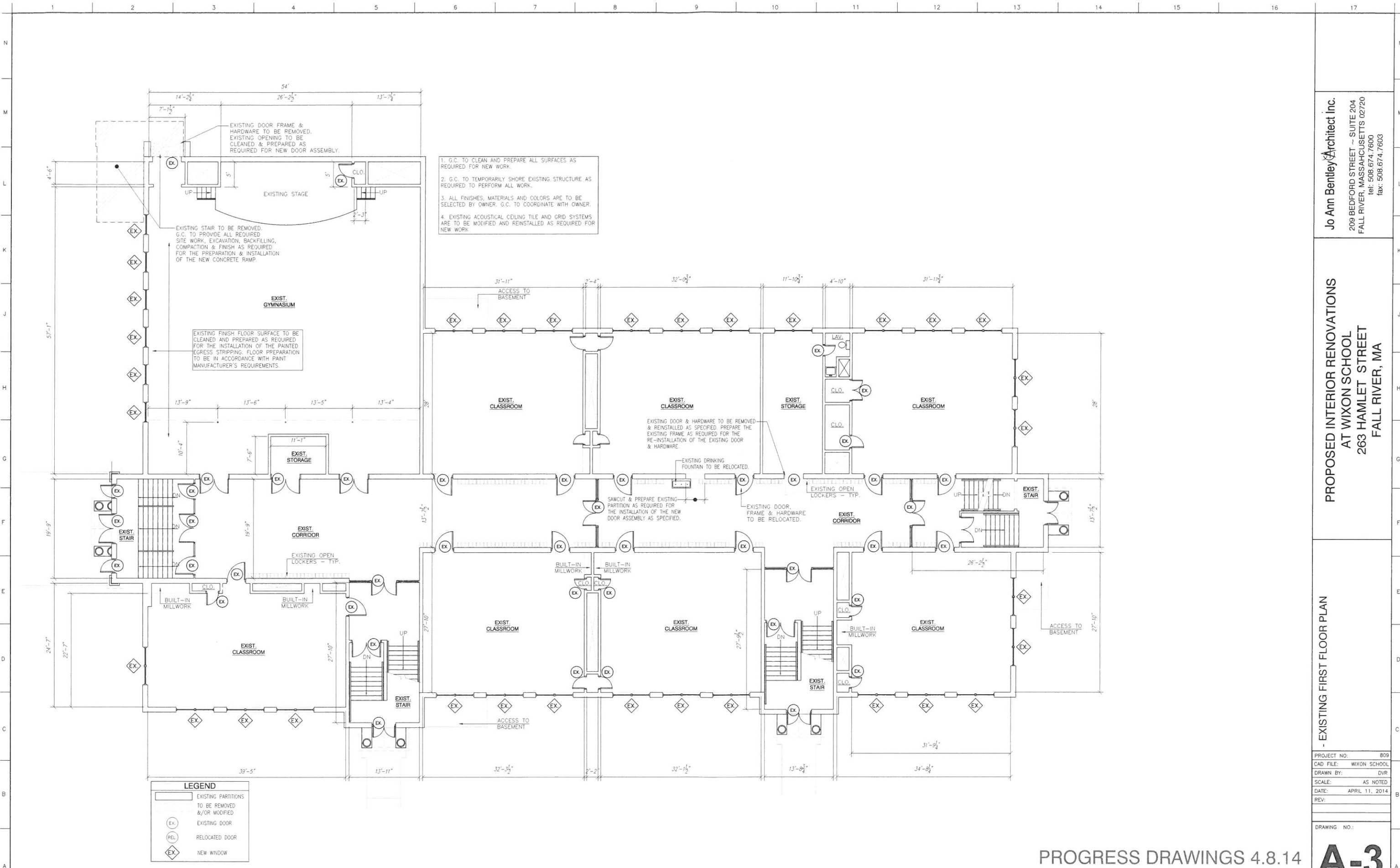
PROPOSED INTERIOR RENOVATIONS
 AT WIXON SCHOOL
 263 HAMLET STREET
 FALL RIVER, MA

PROPOSED BASEMENT FLOOR PLAN

PROJECT NO: 809
 CAD FILE: WIXON SCHOOL
 DRAWN BY: DVR
 SCALE: AS NOTED
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DRAWING NO.:

A-2



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**PROPOSED INTERIOR RENOVATIONS
 AT WIXON SCHOOL
 263 HAMLET STREET
 FALL RIVER, MA**

- EXISTING FIRST FLOOR PLAN

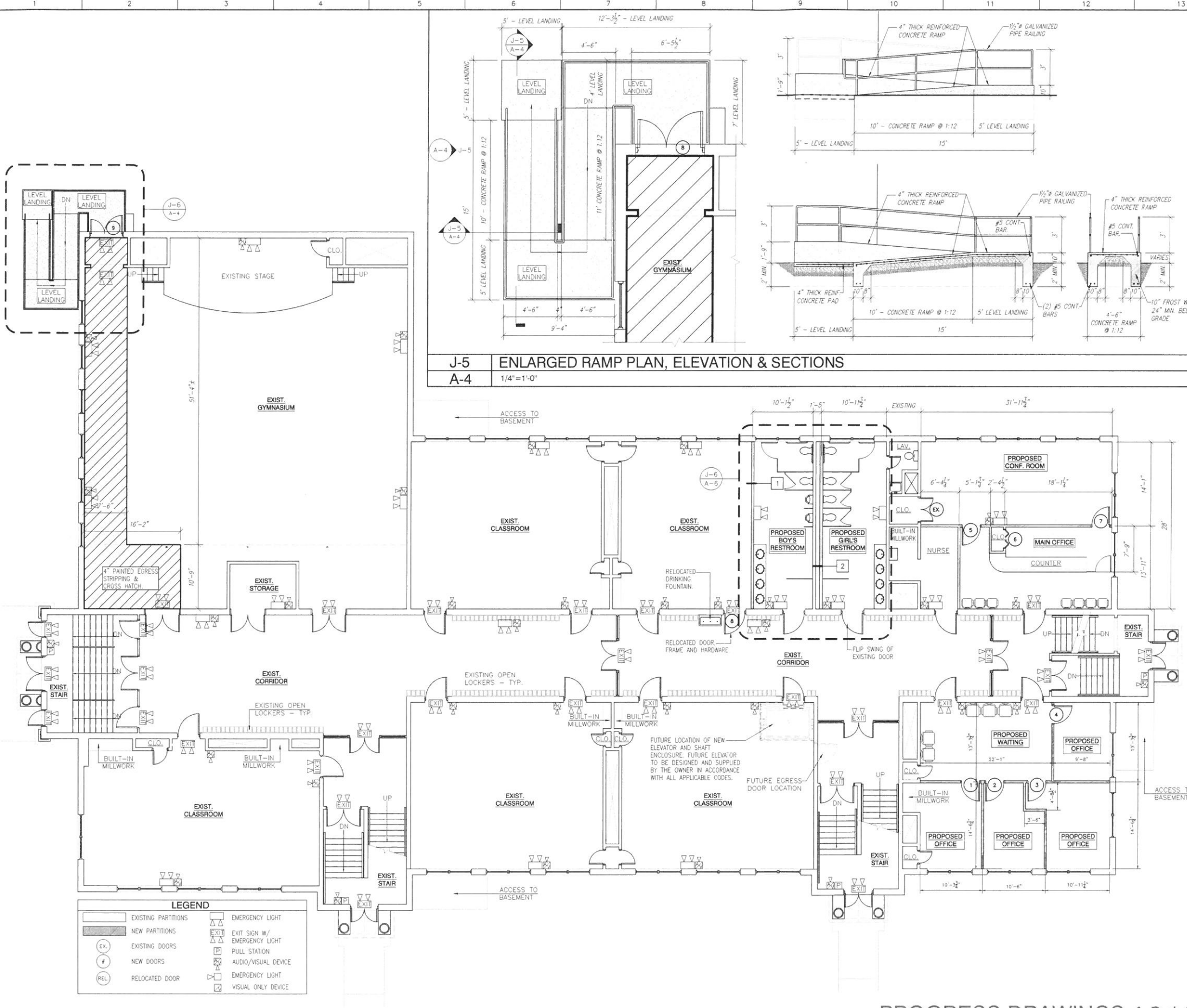
PROJECT NO: 809
 CAD FILE: WIXON SCHOOL
 DRAWN BY: DWR
 SCALE: AS NOTED
 DATE: APRIL 11, 2014
 REV:

DRAWING NO.:

PROGRESS DRAWINGS 4.8.14

A-3

A-1 EXISTING FIRST FLOOR PLAN
 A-3 1/8"=1'-0"



- I. GENERAL NOTES:**
- ALL WORK SHALL CONFORM TO THE 2009 IBC & W/ MASSACHUSETTS AMENDMENTS.
 - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO NEW CONSTRUCTION. REPORT TO THE ARCHITECT/ENGINEER ALL OBSERVATIONS AND ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK.
 - SUBMIT SHOP DRAWINGS FOR APPROVAL (FOR ALL TRADES INDICATED HEREIN).
 - ALL MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL TO BE DESIGN/BUILD PROVIDED BY THE OWNER AND INSTALLED BY CONTRACTORS LICENSED IN THE STATE OF MASSACHUSETTS.
 - FUTURE ELEVATOR ASSEMBLY AND ASSOCIATED COMPONENTS TO BE DESIGN/BUILD PROVIDED BY THE OWNER. THE ELEVATOR ASSEMBLY IS TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ELEVATOR MANUFACTURER'S REQUIREMENTS.
- II. DESIGN LOADS**
- ROOF LOAD (SNOW LOAD) 45 PSF
 - FLOOR LIVE LOADS 40 PSF
 - WIND LOAD PER MASS. BUILDING CODE, 8th EDITION, ZONE 3, V=110 MPH, EXPOSURE B.
- III. CONCRETE**
- ALL CONCRETE WORK SHALL CONFORM TO ACI 318 AND 301 REQUIREMENTS. THIS SHALL INCLUDE PROPORTIONING OF CONCRETE MIX, CONCRETE TESTING, PLACEMENT OF CONCRETE, AND CURING PROCEDURES.
 - CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTH:
 - FOOTINGS & FOUND. WALLS BELOW GRADE 3000 PSI
 - SLABS 4000 PSI
 - ALL OTHER CONCRETE 4000 PSI
 - PROVIDE TOTAL AIR ENTRAINMENT OF 6% (±) FOR ALL CONCRETE EXPOSED TO WEATHER.
 - MAXIMUM WATER/CEMENT RATIO - W/C = 0.45. (PROVIDE A HIGH-RANGE WATER REDUCING ADMIXTURE AS REQUIRED TO INCREASE WORKABILITY OF THE CONCRETE)
 - MAIN REINFORCING STEEL 60 KSI
 - TIES & STIRRUPS 40 KSI
 - WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A185.
 - UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING MINIMUM REINFORCING COVER:
 - FOOTINGS 3 INCHES
 - CONC. EXPOSED TO WEATHER OR EARTH 2 INCHES
 - SLABS ON GRADE (W/F) (SEE TYPICAL DETAILS)
 - MAXIMUM CONCRETE WALL LENGTHS BETWEEN CONSTRUCTION JOINTS SHALL BE 60 FEET.
 - REINFORCING LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI-318-95 FOR TENSION LAP SPLICES, CLASS B, UNLESS NOTED OTHERWISE. HORIZONTAL REINFORCING IN PERIMETER WALLS SHALL BE LAPPED 24" MINIMUM.
 - PROVIDE CORNER BARS AT ALL WALL CORNERS & INTERSECTIONS MATCHING HORIZONTAL REINFORCEMENT WITH 2'-6" MINIMUM LAPS.

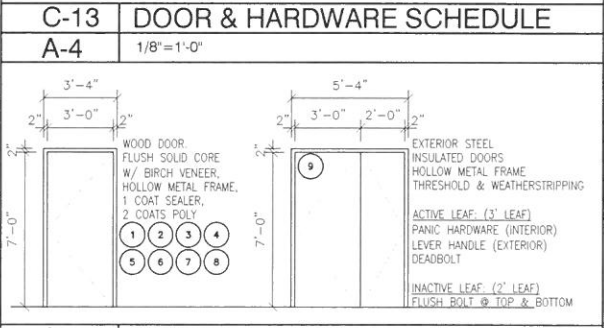
F-13 GENERAL NOTES
A-4 1/8"=1'-0"

MARK	H x W	MATERIAL	FRAME	HARDWARE	REMARKS
1	3'-0" x 7'-0"	WOOD	H.M.		UNDERCUT 1"
2	3'-0" x 7'-0"	WOOD	H.M.		UNDERCUT 1"
3	3'-0" x 7'-0"	WOOD	H.M.		UNDERCUT 1"
4	3'-0" x 7'-0"	WOOD	H.M.		UNDERCUT 1"
5	3'-0" x 7'-0"	WOOD	H.M.		UNDERCUT 1"
6	3'-0" x 7'-0"	WOOD	H.M.		UNDERCUT 1"
7	3'-0" x 7'-0"	WOOD	H.M.		UNDERCUT 1"
8	3'-0" x 7'-0"	WOOD	H.M.		UNDERCUT 1"
9	3'-0" x 7'-0"	WOOD	H.M.		UNDERCUT 1"
10	3'-0" x 7'-0"	WOOD	H.M.		UNDERCUT 1"

SET #	DOOR	HARDWARE	SET #	DOOR	HARDWARE	SET #	DOOR	HARDWARE
#1	1 PAIR BUTTS CLASSROOM FUNCTION	PRIVACY FUNCTION LEVER HANDLES WALL STOP 3-SILENCERS CLOSER	#2	1 PAIR BUTTS CLASSROOM FUNCTION	PRIVACY FUNCTION LEVER HANDLES WALL STOP 3-SILENCERS CLOSER	#3	1 PAIR BUTTS STORAGE FUNCTION	LEVER HANDLES

DOOR NOTES:

- DOOR HARDWARE TO BE SATIN CHROME.
- ALL DOOR HARDWARE TO BE ADA COMPLIANT
- DOOR HARDWARE TO BE MEDIUM DUTY CYLINDER LOCKSETS WITH LEVER HANDLES.
- ALL WOOD DOORS TO BE 7PLY SOLID CORE.



A-1 PROPOSED FIRST FLOOR PLAN
A-4 1/8"=1'-0"

J-5 ENLARGED RAMP PLAN, ELEVATION & SECTIONS
A-4 1/4"=1'-0"

PROGRESS DRAWINGS 4.8.14

A-13 DOOR ELEVATIONS
A-4 1/4"=1'-0"

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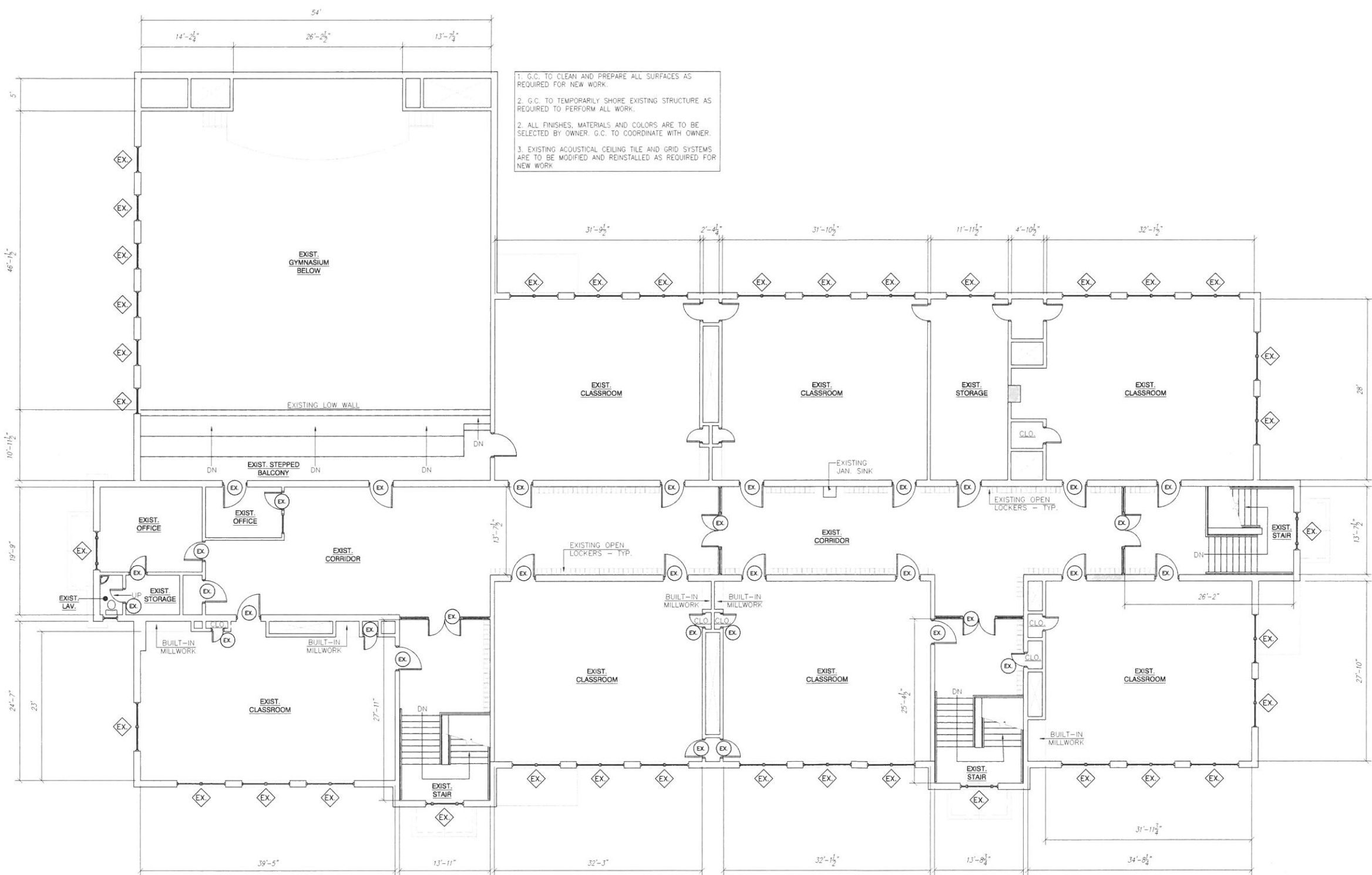
PROPOSED INTERIOR RENOVATIONS
AT WIXON SCHOOL
263 HAMLET STREET
FALL RIVER, MA

PROPOSED FLOOR PLAN
RAMP PLAN, ELEVATIONS & SECTIONS
DOOR SCHEDULES & ELEVATIONS
GENERAL NOTES

PROJECT NO.: 809
CAD FILE: WIXON SCHOOL
DRAWN BY: DVR
SCALE: AS NOTED
DATE: APRIL 11, 2014
REV:

DRAWING NO.:

A-4



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**PROPOSED INTERIOR RENOVATIONS
 AT WIXON SCHOOL
 263 HAMLET STREET
 FALL RIVER, MA**

EXISTING SECOND FLOOR PLAN

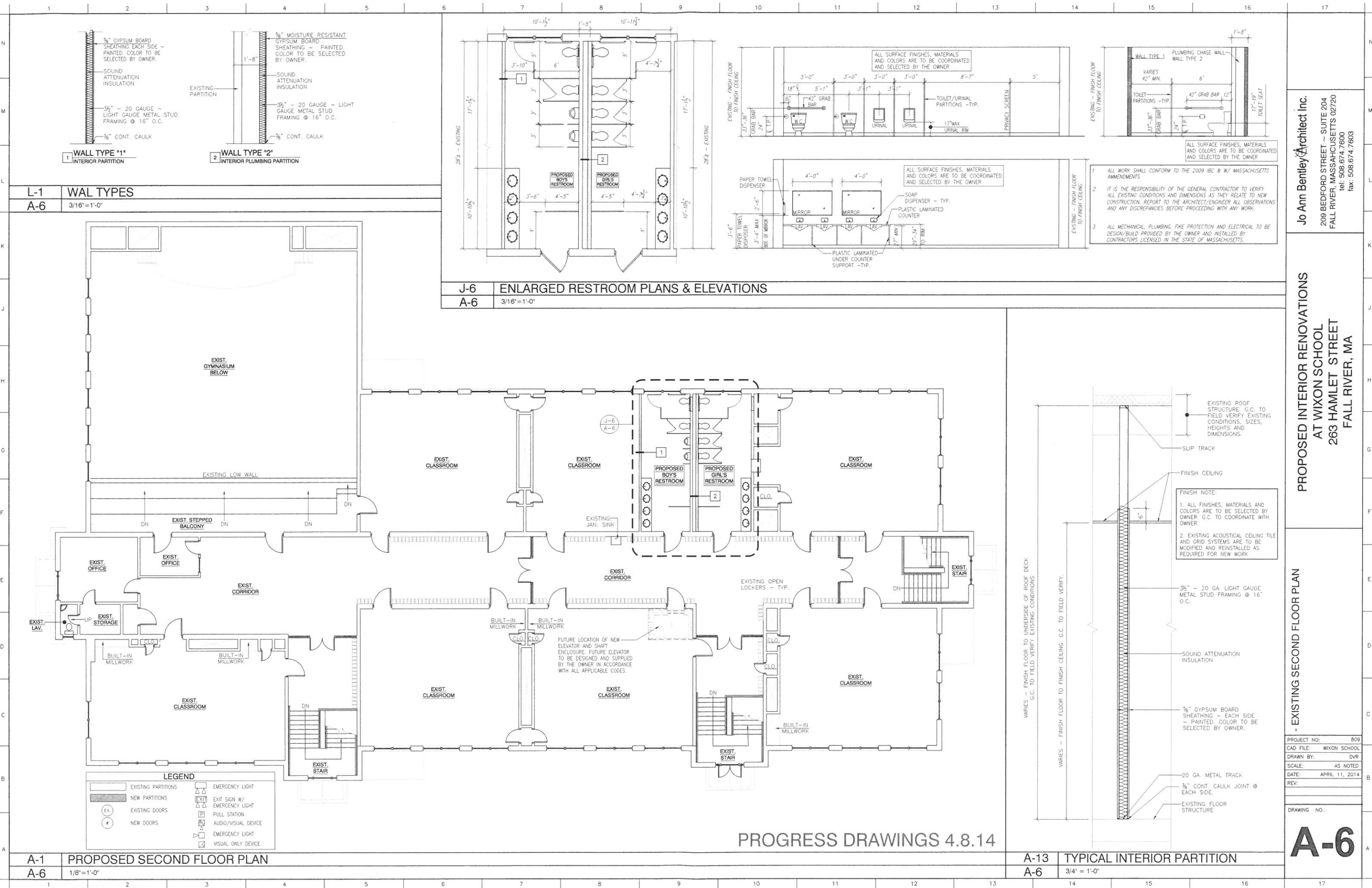
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DRAWN BY:	DVR
SCALE:	AS NOTED
DATE:	APRIL 11, 2014
REV:	

DRAWING NO.:

PROGRESS DRAWINGS 4.8.14

A-5

A-1 EXISTING SECOND FLOOR PLAN
A-5 1/8"=1'-0"



L-1 WAL TYPES
A-6 3/16"=1'-0"

J-6 ENLARGED RESTROOM PLANS & ELEVATIONS
A-6 3/16"=1'-0"

A-13 TYPICAL INTERIOR PARTITION
A-6 3/4" = 1'-0"

LEGEND

[Symbol]	EXISTING PARTITIONS	[Symbol]	EMERGENCY LIGHT
[Symbol]	NEW PARTITIONS	[Symbol]	EXIT SIGN W/ EMERGENCY LIGHT
[Symbol]	EXISTING DOORS	[Symbol]	PULL STATION
[Symbol]	NEW DOORS	[Symbol]	AUDIO/VISUAL DEVICE
[Symbol]		[Symbol]	EMERGENCY LIGHT
[Symbol]		[Symbol]	VISUAL ONLY DEVICE

A-1 PROPOSED SECOND FLOOR PLAN
A-6 1/8"=1'-0"

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**PROPOSED INTERIOR RENOVATIONS
AT WIXON SCHOOL**
263 HAMLET STREET
FALL RIVER, MA

EXISTING SECOND FLOOR PLAN

PROJECT NO:	809
CAD FILE:	WIXON SCHOOL
DRAWN BY:	DVR
SCALE:	AS NOTED
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REV:	

DRAWING NO.:

A-6

PROGRESS DRAWINGS 4.8.14

LOCUS MAP



LIST OF DRAWINGS

- 00 - COVER SHEET
- 01 - CODE SUMMARY
- 02 - EXISTING/ DEMO BASEMENT AND FIRST FLOOR PLAN
- 03 - EXISTING/ DEMO SECOND FLOOR PLAN
- 04 - BASEMENT FLOOR PLAN AND DETAILS
- 05 - FIRST FLOOR PLAN
- 06 - SECOND FLOOR PLAN AND WALL TYPE
- S1.0- FIRST FLOOR FRAMING PLAN
- S2.0- PARTIAL 2ND FLOOR FRAMING PLAN AND SECTIONS

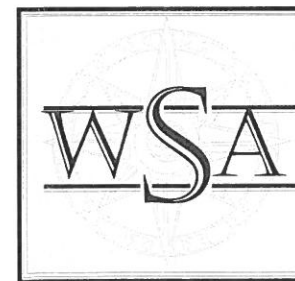
PROPOSED INTERIOR FIT-UP AT THE CONNELL SCHOOL

650 PLYMOUTH AVENUE
FALL RIVER, MA 02721

GENERAL CONDITIONS AND NOTES

1. THE OWNER WILL CONTRACT SEPARATELY FOR FIRE PROTECTION WORK WHICH WILL INCLUDE ENGINEERING, PERMITTING, INSTALLATION TESTING AND INSPECTIONS. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF THE OWNER'S SPRINKLER CONTRACTOR.
2. THE OWNER WILL CONTRACT SEPARATELY FOR FIRE ALARM WORK WHICH WILL BE TIED INTO THE EXISTING SYSTEM. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF THE OWNER'S FIRE ALARM CONTRACTOR.
3. THE OWNER WILL CONTRACT SEPARATELY FOR MECHANICAL, ELECTRICAL AND PLUMBING WHICH WILL INCLUDE ENGINEERING, PERMITTING, INSTALLATION, TESTING AND INSPECTIONS.
4. ALL REQUIRED LIFE SAFETY SIGNAGE TO BE SUPPLIED AND INSTALLED BY OWNER. SIGNAGE SHALL COMPLY WITH 2010 ADA STANDARDS AND IBC 2010 (1102). SIGNS SHALL HAVE A NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND.
5. THE TESTING, REMOVAL AND DISPOSAL OF ALL HAZARDOUS MATERIAL IS TO BE COMPLETED BY THE OWNER IN ACCORDANCE WITH ALL APPLICABLE GENERAL LAWS AND REGULATIONS.

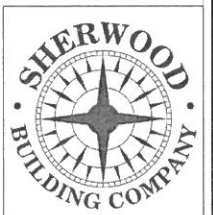
AUGUST 15, 2014



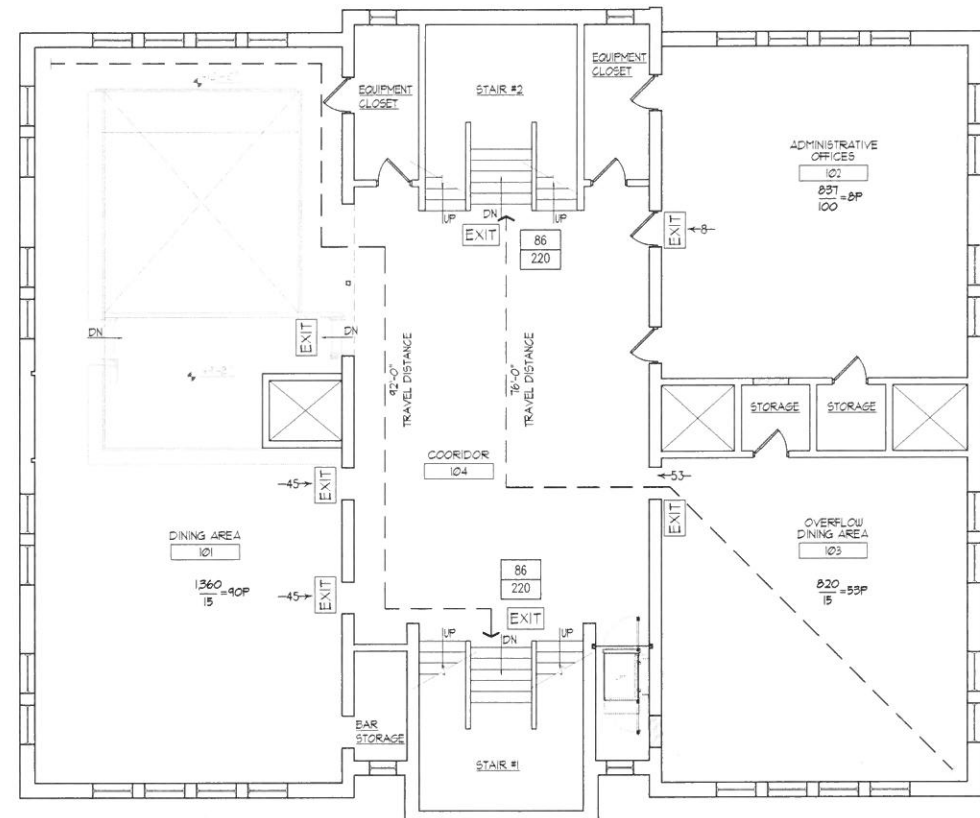
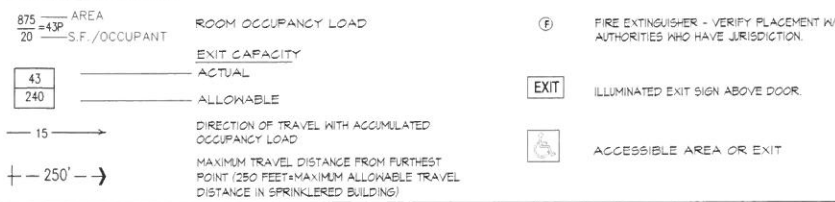
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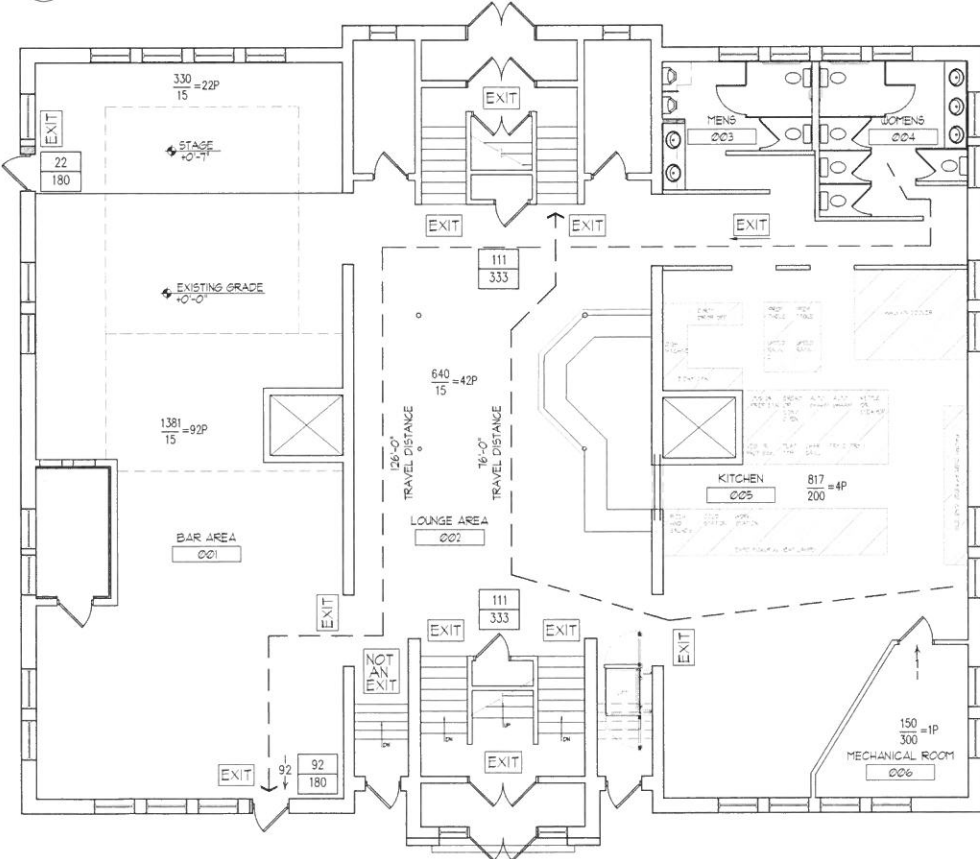
10 DORRANCE STREET, SUITE 700
PROVIDENCE, RI 02903



SYMBOL LEGEND



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



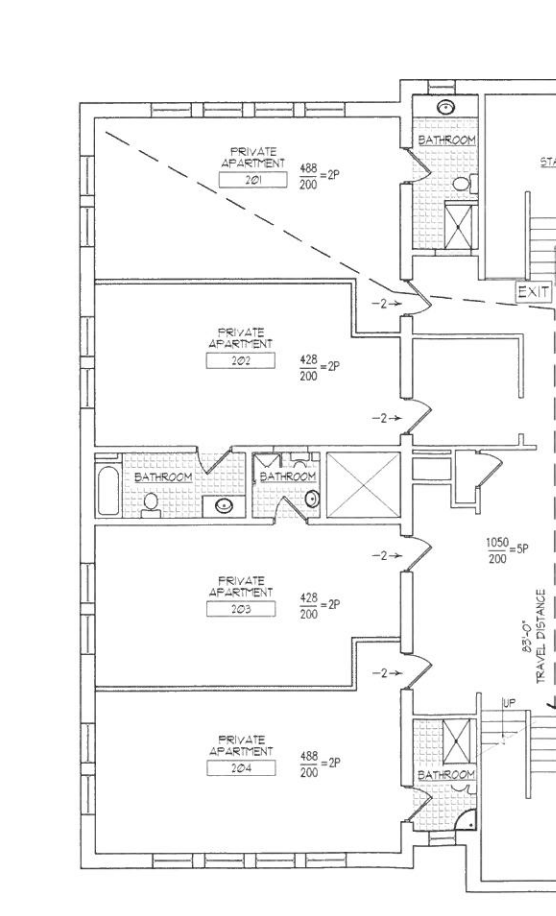
BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

CERTIFICATE OF APPROVAL FROM THE FALL RIVER PLANNING DEPARTMENT
(SP 14-03 PARCEL ID: 1-14-3)
FALL RIVER ZONING BOARD OF APPEALS DECISION
(DECEMBER 12, 2015 PARCEL ID: 1-14-3)

- 51 OFF-STREET PARKING SPACES - 12 FOR RESIDENTIAL USE, 3 HANDICAP ACCESSIBLE
- SITE PLANS SHALL BE SUBMITTED TO THE PLANNING BOARD FOR REVIEW AND APPROVAL.
- CERTIFICATE OF APPROVAL FROM THE FALL RIVER PLANNING DEPARTMENT (SP 14-03 PARCEL ID: 1-14-3)
- SIGNAGE SHALL BE LIMITED TO ONE ELECTRONIC MESSAGE STYLE MARQUEE SIGN NOT TO EXCEED 10'X10' AND TO BE ILLUMINATED ONLY DURING THE HOURS OF OPERATION.
- THERE SHALL BE NO MORE THAN 12 STUDIO RENTAL UNITS.

INTERNATIONAL EXISTING BUILDING CODE SUMMARY

CODE SECTION	ALLOWABLE QUANTITY	ACTUAL QUANTITY
CHAPTER 3. PRESCRIPTIVE COMPLIANCE METHOD		
CHANGE OF OCCUPANCY SECTION 301.3	EXISTING STAIRWAYS IN AN EXISTING STRUCTURE SHALL NOT BE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF A NEW STAIRWAY AS OUTLINED IN SECTION 1008 OF THE INTERNATIONAL BUILDING CODE WHERE THE EXISTING SPACE AND CONSTRUCTION WILL NOT ALLOW A REDUCTION IN PITCH OR SLOPE.	
CHAPTER 4. CLASSIFICATION OF WORK		
	PER SECTION 405, THE SCOPE OF WORK QUALIFIES AS AN ALTERATION-LEVEL 3 AND SHALL COMPLY WITH CHAPTERS 6 AND 7 FOR LEVEL 1 AND 2 ALTERATIONS AS WELL AS THE PROVISIONS OF CHAPTER 8.	
	PER SECTION 407, ALTERATIONS SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 10.	
CHAPTER 8. ALTERATIONS - LEVEL 3		
BUILDING ELEMENTS AND MATERIALS SECTION 803	ALL NEW INTERIOR WALL, CEILING, FLOOR, AND TRIM MATERIALS AND METHODS SHALL COMPLY WITH CHAPTER 8 OF THE INTERNATIONAL BUILDING CODE.	
FIRE PROTECTION SECTION 804	AUTOMATIC SPRINKLER SYSTEMS SHALL BE PROVIDED AS REQUIRED BY SECTION 104.2, PER 104.2.2 THE BUILDING REQUIRES AN AUTOMATIC SPRINKLER SYSTEM. AN APPROVED AUTOMATIC SPRINKLER SYSTEM WILL BE INSTALLED.	
MEANS OF EGRESS SECTION 805	REPAIRS SHALL MAINTAIN THE MIN. LEVEL OF PROTECTION REQUIRED.	
ACCESSIBILITY SECTION 806	PER 806.1, A BUILDING, FACILITY OR ELEMENT THAT IS ALTERED SHALL COMPLY WITH SECTION 905 AND 106.	
NEW STRUCTURAL ELEMENTS SECTION 807.2	NEW STRUCTURAL ELEMENTS ARE TO COMPLY WITH SECTION 101.2. PER 101.2, NEW ELEMENTS (INCLUDING CONNECTIONS AND ANCHORAGE) SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE.	
EXISTING STRUCTURAL ELEMENTS CARRYING GRAVITY LOADS SECTION 807.2	EXISTING STRUCTURAL ELEMENTS CARRYING GRAVITY LOADS SHALL COMPLY WITH SECTION 101.4. PER 101.4, ALTERATIONS SHALL NOT REDUCE THE CAPACITY OF EXISTING LOAD CARRYING ELEMENTS UNLESS THE ELEMENTS HAVE THE CAPACITY TO CARRY THE APPLICABLE DESIGN GRAVITY LOADS REQUIRED BY THE INTERNATIONAL BUILDING CODE.	
STRUCTURAL ALTERATIONS SECTION 807.2	ALL STRUCTURAL ELEMENTS OF THE LATERAL FORCE RESISTING SYSTEM IN BUILDINGS UNDERGOING LEVEL 3 STRUCTURAL ALTERATIONS OR LEVEL 2 ALTERATIONS AS TRIGGERED BY 101.5 SHALL COMPLY.	
ENERGY CONSERVATION SECTION 808	LEVEL 3 ALTERATIONS ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE. THE ALTERATIONS SHALL CONFORM AS THEY RELATE TO THE NEW CONSTRUCTION ONLY.	
CHAPTER 6. ALTERATIONS - LEVEL 1		
BUILDING ELEMENTS AND MATERIALS SECTION 602	ALL NEW INTERIOR WALL, CEILING, FLOOR, AND TRIM MATERIALS AND METHODS SHALL COMPLY WITH CHAPTER 8 OF THE INTERNATIONAL BUILDING CODE.	
FIRE PROTECTION SECTION 603	ALTERATIONS SHALL MAINTAIN THE MIN. LEVEL OF PROTECTION REQUIRED.	
MEANS OF EGRESS SECTION 604	REPAIRS SHALL MAINTAIN THE MIN. LEVEL OF PROTECTION REQUIRED.	
ACCESSIBILITY SECTION 605.1	A BUILDING, FACILITY, OR ELEMENT THAT IS ALTERED SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION AND 180 CMR 521.0AAB.	



SECOND FLOOR EGRESS
SCALE: 1/8" = 1'-0"

BUILDING CODE ANALYSIS

2009 EDITION OF THE INTERNATIONAL BUILDING CODE 2009 EDITION OF THE INTERNATIONAL EXISTING BUILDING CODE MASSACHUSETTS AMENDMENTS TO THE IBC (2010)

CODE SECTION	ALLOWABLE QUANTITY	ACTUAL QUANTITY
USE AND OCCUPANCY CLASSIFICATION SECTION 303.1	ASSEMBLY, A-2 RESTAURANT	
CHAPTER 5. GENERAL BUILDING HEIGHTS AND AREAS		
ALLOWABLE BUILDING HEIGHTS & AREA TABLE 503	1 STORY, 40 FT 6,000 SF	EXISTING CONSTRUCTION
CHAPTER 4. FIRE PROTECTION SYSTEMS		
AUTOMATIC SPRINKLER SYSTEMS SECTION 903.2.1, 903.2.1.1, AND 903.2.1.2	PER TABLE 903.2 'OCCUPANCY' AUTOMATIC SPRINKLER REQUIREMENTS AN AUTOMATIC SPRINKLER SYSTEM IS REQUIRED AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13.	
PORTABLE FIRE EXTINGUISHERS SECTION 906.1	PROVIDE AS REQUIRED PER LOCAL JURISDICTION AND IN ACCORDANCE WITH NFPA	
FIRE ALARM AND DETECTION SYSTEMS SECTION 907	GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR SHALL COORDINATE W/ THE CITY OF FALL RIVER FIRE DEPARTMENT FOR ALL FIRE ALARM SYSTEM REQUIREMENTS PRIOR TO THE WORK.	
CHAPTER 10. MEANS OF EGRESS		
DESIGN OCCUPANT LOAD, AREAS W/O FIXED SEATING SECTION 1004.1	DINING/LOUNGE AREAS - ASSEMBLY W/O FIXED SEATS (UNCONCENTRATED) = 15 SF/OCCUP. 4417 SF / 15 SF PER OCCUP = 294 OCCUP + 4. ADMINISTRATIVE STORAGE = 100 SF/OCCUP. 8575 SF / 100 PER OCCUP = 85 TOTAL OCCUPANT LOAD = 276 OCCUPANTS	
POSTING OF OCCUPANT LOAD SECTION 1004.3	PROVIDE AS REQUIRED	
OUTDOOR AREAS SECTION 1004.6	EXTERIOR PATIOS AND DECKS MEANS OF EGRESS DO NOT PASS THROUGH THE BUILDING. THEREFORE THE BUILDING OCCUPANT LOAD IS TO BE CALCULATED USING ONLY THE AREA OF THE BUILDING.	
MINIMUM REQUIRED EGRESS WIDTH SECTION 1005.1, EXCEPTION 2	STAIRWAYS = OCCUPANT LOAD / 3 INCHES PER OCCUP. OTHER EGRESS COMPONENTS = OCCUPANT LOAD x 0.2 INCHES/OCCUP.	
ACCESSIBLE MEANS OF EGRESS REQUIRED TABLE 1007.1	ACCESSIBLE MEANS OF EGRESS SHALL COMPLY WITH THIS SECTION. ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS WHERE MORE THAN ONE MEANS OF EGRESS ARE REQUIRED BY SECTION 1005.1 OR 1021.1 FROM ANY ACCESSIBLE SPACE. EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY NOT LESS THAN TWO ACCESSIBLE MEANS OF EGRESS. EXCEPTION 1: ACCESSIBLE MEANS OF EGRESS ARE NOT REQUIRED IN ALTERATIONS TO EXISTING BUILDINGS	
EXIT OR EXIT ACCESS DOORWAY ARRANGEMENT SECTION 1015.2.2	2 OF THE 3 REQUIRED EXITS SHALL BE ARRANGED PER SECTION 1015.2.1, EXCEPTION 2. IN A BUILDING EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM, THE SEPARATION DISTANCE SHALL NOT BE LESS THAN 1/3 OF THE MINIMUM DIAGONAL DIMENSION OF THE SPACE SERVED.	
EXIT ACCESS TRAVEL DISTANCE SECTION 1016.1	250 FT W/ SPRINKLER SYSTEM DOES NOT EXCEED 250 FT	
CORRIDOR FIRE-RESISTANCE RATING TABLE 1016.1	SPRINKLERED A (ASSEMBLY) USE GROUP = 0 HRS	
NUMBER OF EXITS AND CONTINUITY TABLE 1021.1	OCCUPANT LOAD OF 1-500 MINIMUM TOTAL OF 4 EXITS PROVIDED	
ASSEMBLY MAIN EXIT SECTION 1028.2	A MAIN EXIT SHALL BE PROVIDED AND SHALL BE SIZED TO ACCOMMODATE 1/2 OCCUPANT LOAD OR MIN. REQUIRED EGRESS WIDTH, WHICHEVER IS GREATER. (COMPLIES)	
ASSEMBLY OTHER EXITS SECTION 1028.3	ADDITIONAL MEANS OF EGRESS SHALL BE PROVIDED AND SHALL ACCOMMODATE AT LEAST 1/2 OCCUPANT LOAD.	
ASSEMBLY AISLES - MINIMUM AISLE WIDTH SECTION 1028.2	ITEM 1: 48" FOR AISLES HAVING SEATING ON BOTH SIDES, PER EXCEPTION 1, 36" FOR AISLES SERVING LESS THAN 50 PERSONS ITEM 2: 36" FOR AISLES HAVING SEATING ON ONE SIDE. ITEM 4: 42" FOR LEVEL OR RAMPED AISLES HAVING SEATING ON BOTH SIDES, PER EXCEPTION 1, 36" FOR AISLES SERVING LESS THAN 50 PERSONS, PER EXCEPTION 2, 30" FOR AISLES SERVING LESS THAN 14 PERSONS ITEM 5: 36" FOR AISLES HAVING SEATING ON ONE SIDE, PER EXCEPTION 1, 30" FOR AISLES SERVING LESS THAN 14 PERSONS	
CHAPTER 11. ACCESSIBILITY		
SERVICES SECTION 1008.2.1	IF A SERVICE OR FACILITY IS PROVIDED IN AN AREA THAT IS NOT ACCESSIBLE, THE SAME SERVICE OR FACILITY SHALL BE PROVIDED ON AN ACCESSIBLE LEVEL AND SHALL BE ACCESSIBLE.	
DINING AREAS SECTION 1008.2.9	IN DINING AREAS, THE TOTAL FLOOR AREA ALLOTTED FOR SEATING AND TABLES SHALL BE ACCESSIBLE. EXCEPTIONS: IN BUILDINGS OR FACILITIES NOT REQUIRED TO PROVIDE AN ACCESSIBLE ROUTE BETWEEN LEVELS, AN ACCESSIBLE ROUTE TO A MEZZANINE SEATING AREA IS NOT REQUIRED, PROVIDED THAT THE MEZZANINE CONTAINS LESS THAN 25 PERCENT OF THE TOTAL AREA AND THE SAME SERVICES ARE PROVIDED IN THE ACCESSIBLE AREA.	
CHAPTER 29. PLUMBING (284CMR)		
TABLE 101	TOILET/URINALS (MALE)- 1 PER 50 OCCUP. MAINTAIN 1:1 RATIO MIX TOILETS (FEMALE)- 1 PER 30 OCCUPANTS LAVATORIES (MALE)- 1 PER 15 OCCUPANTS. LAVATORIES (FEMALE)- 1 PER 15 OCCUPANTS. DRINKING FOUNTAIN- NOT REQ. SERVICE SINKS- NOT REQ.	ACTUAL # URINALS = 2 ACTUAL # TOILETS = 2 ACTUAL = TOILETS = 5 ACTUAL = LAVATORIES = 2 ACTUAL = LAVATORIES = 3
CHAPTER 34. EXISTING BUILDING AND STRUCTURES		
	REFER TO 2009 INTERNATIONAL EXISTING BUILDING CODE SUMMARY	

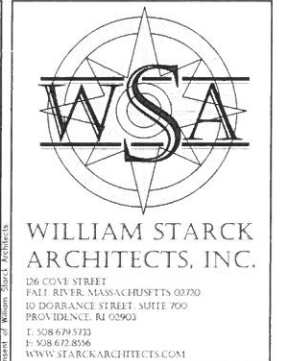
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NO.	DATE	DESCRIPTION

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DATE: 08.15.14
DRAWN BY: NJV
JOB NUMBER: 140-13
DRAWING NAME: CODE SUMMARY

DRAWING NUMBER: 01

COMMENTS:



INTERIOR RENOVATIONS
AT THE
CONNELL SCHOOL
SHERWOOD BUILDING COMPANY
650 PLYMOUTH AVENUE
FALL RIVER, MA 02721

REVISIONS:

NO.	DATE	DESCRIPTION

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INTERIOR RENOVATIONS
AT THE
CONNELL SCHOOL
SHERWOOD BUILDING COMPANY
650 PLYMOUTH AVENUE
FALL RIVER, MA 02721

REVISIONS:

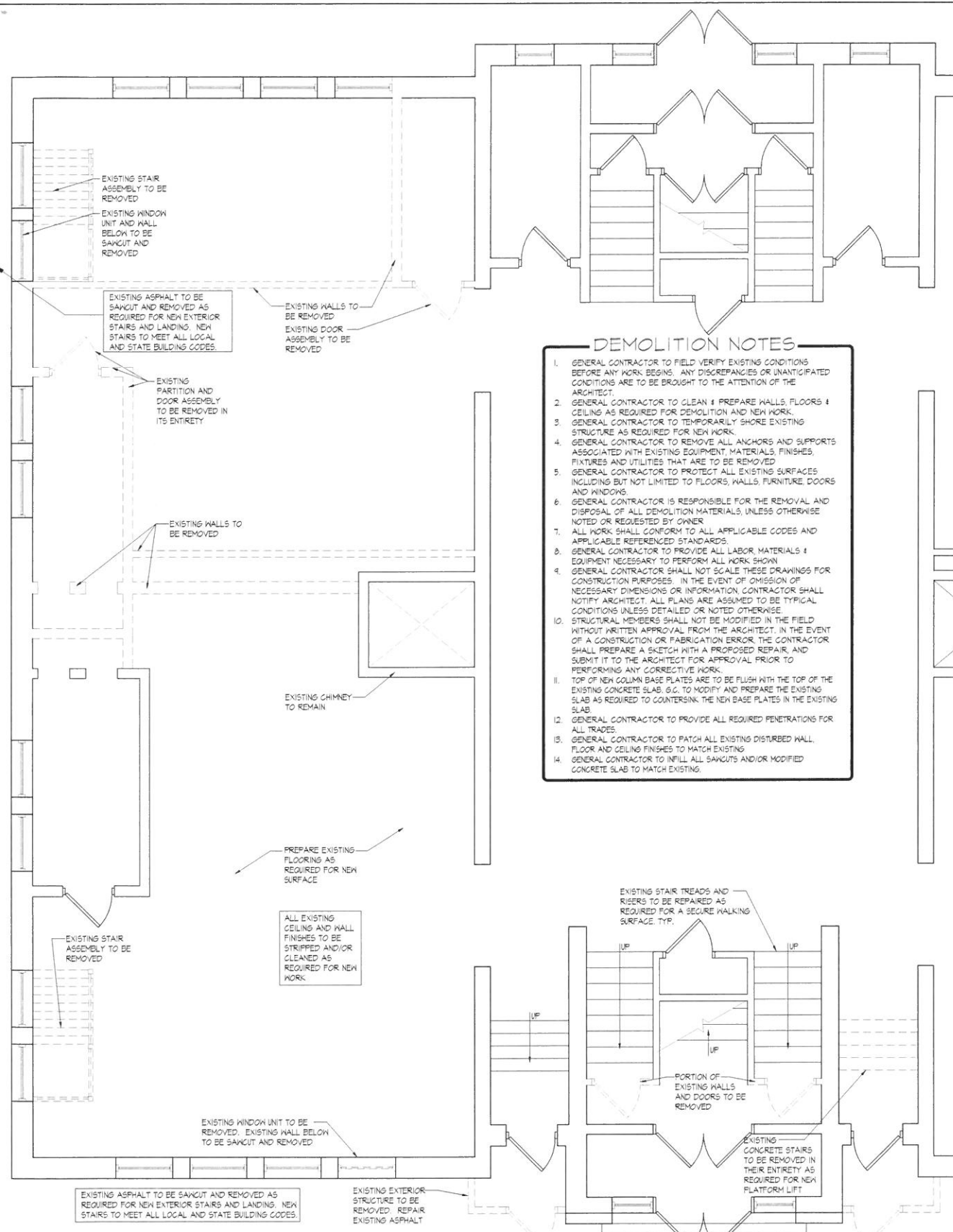
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DRAWING NAME:

EXISTING/ DEMO
BASEMENT AND FIRST
FLOOR PLAN

DRAWING NUMBER:

02

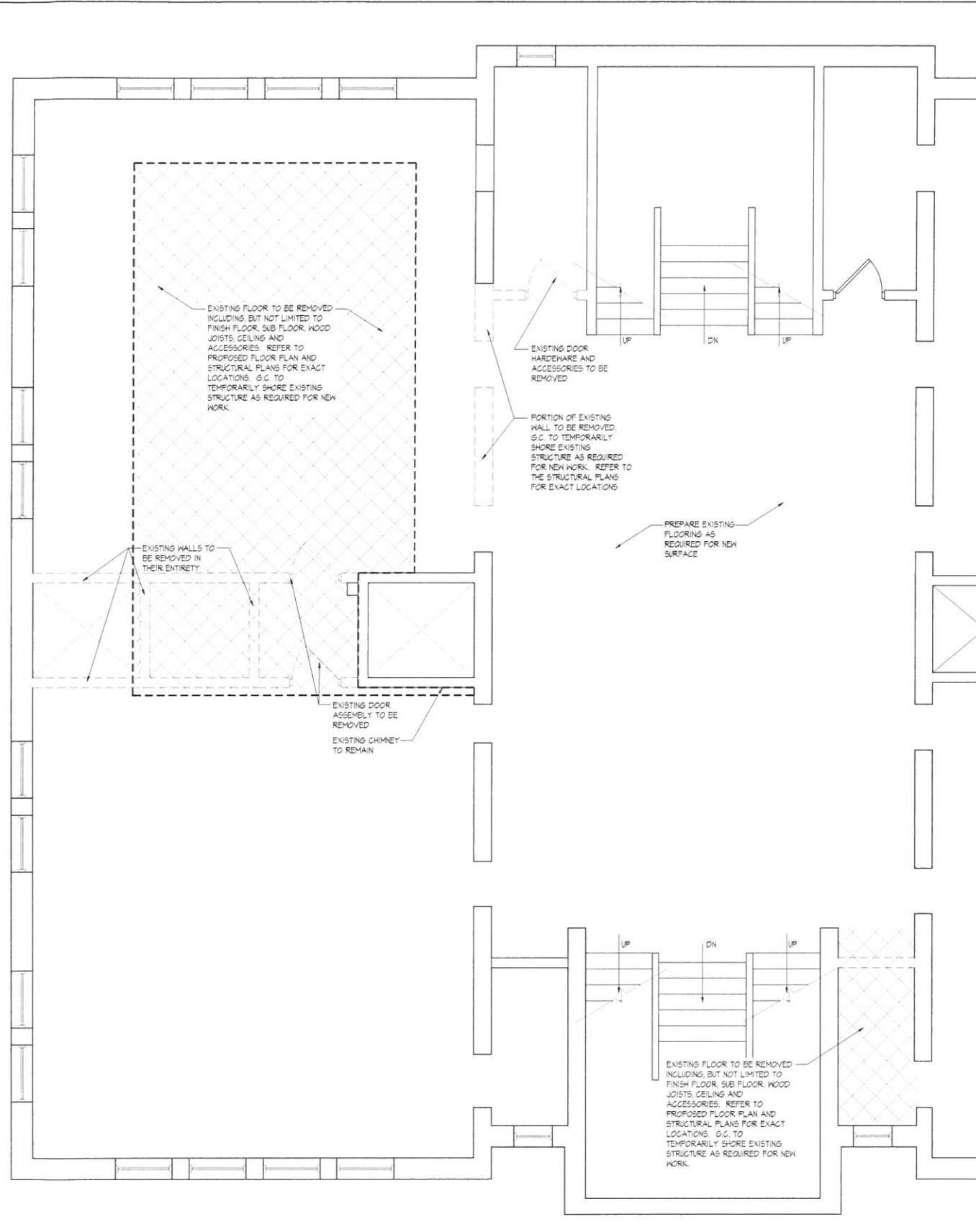
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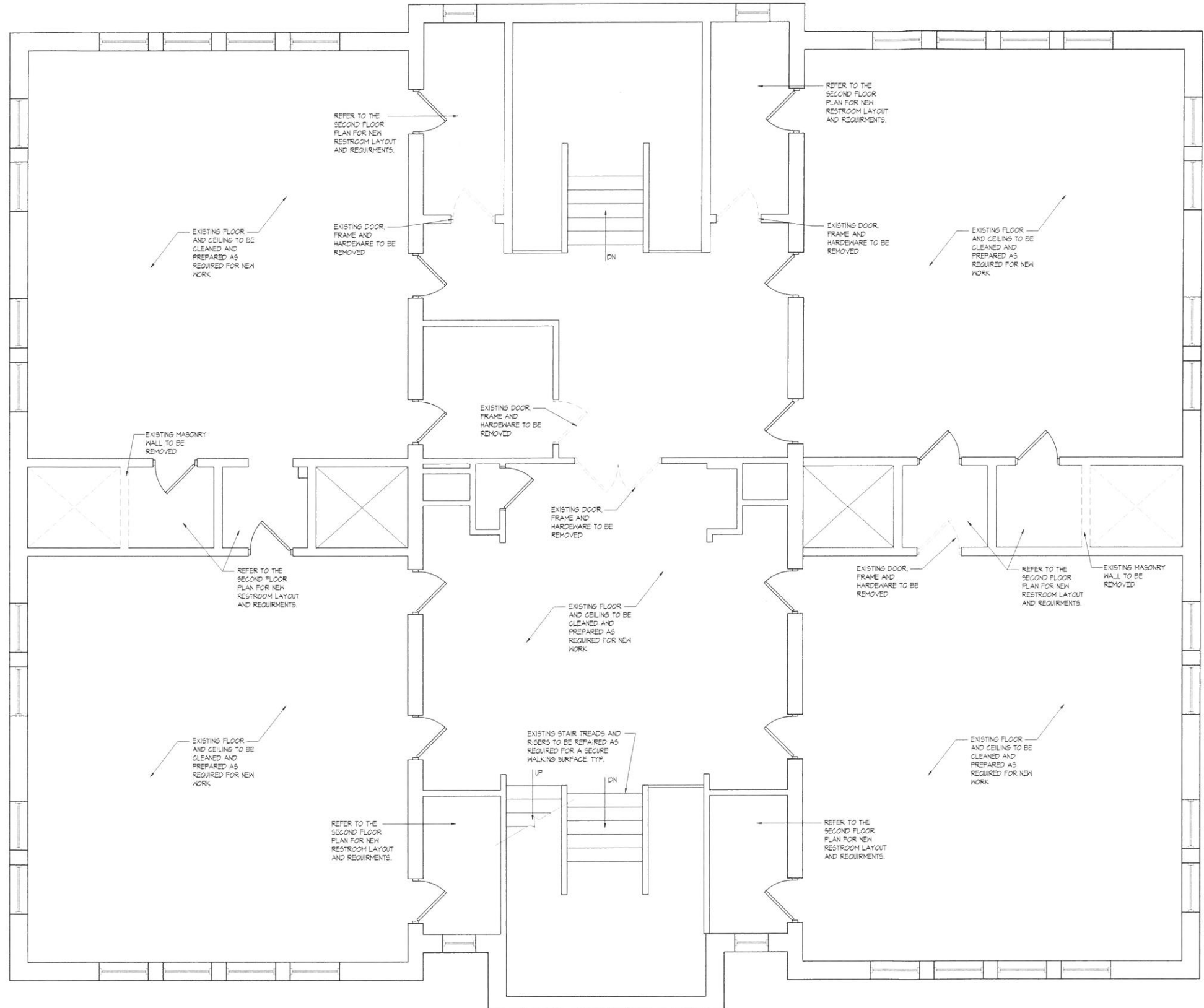
DEMOLITION NOTES

1. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE ANY WORK BEGINS. ANY DISCREPANCIES OR UNANTICIPATED CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
2. GENERAL CONTRACTOR TO CLEAN & PREPARE WALLS, FLOORS & CEILING AS REQUIRED FOR DEMOLITION AND NEW WORK.
3. GENERAL CONTRACTOR TO TEMPORARILY SHORE EXISTING STRUCTURE AS REQUIRED FOR NEW WORK.
4. GENERAL CONTRACTOR TO REMOVE ALL ANCHORS AND SUPPORTS ASSOCIATED WITH EXISTING EQUIPMENT, MATERIALS, FINISHES, FIXTURES AND UTILITIES THAT ARE TO BE REMOVED.
5. GENERAL CONTRACTOR TO PROTECT ALL EXISTING SURFACES INCLUDING BUT NOT LIMITED TO FLOORS, WALLS, FURNITURE, DOORS AND WINDOWS.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION MATERIALS, UNLESS OTHERWISE NOTED OR REQUESTED BY OWNER.
7. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND APPLICABLE REFERENCED STANDARDS.
8. GENERAL CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS & EQUIPMENT NECESSARY TO PERFORM ALL WORK SHOWN.
9. GENERAL CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS OR INFORMATION, CONTRACTOR SHALL NOTIFY ARCHITECT. ALL PLANS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS DETAILED OR NOTED OTHERWISE.
10. GENERAL CONTRACTOR SHALL NOT BE MODIFIED IN THE FIELD WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT. IN THE EVENT OF A CONSTRUCTION OR FABRICATION ERROR, THE CONTRACTOR SHALL PREPARE A SKETCH WITH A PROPOSED REPAIR, AND SUBMIT IT TO THE ARCHITECT FOR APPROVAL PRIOR TO PERFORMING ANY CORRECTIVE WORK.
11. TOP OF NEW COLUMN BASE PLATES ARE TO BE FLUSH WITH THE TOP OF THE EXISTING CONCRETE SLAB. G.C. TO MODIFY AND PREPARE THE EXISTING SLAB AS REQUIRED TO COUNTERSINK THE NEW BASE PLATES IN THE EXISTING SLAB.
12. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED PENETRATIONS FOR ALL TRADES.
13. GENERAL CONTRACTOR TO PATCH ALL EXISTING DISTURBED WALL, FLOOR AND CEILING FINISHES TO MATCH EXISTING.
14. GENERAL CONTRACTOR TO INFILL ALL SAKCUTS AND/OR MODIFIED CONCRETE SLAB TO MATCH EXISTING.

1 EXISTING/ DEMO BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING/ DEMO FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 EXISTING/ DEMO SECOND FLOOR PLAN
 03 SCALE: 1/4" = 1'-0"



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INTERIOR RENOVATIONS
 AT THE
CONNELL SCHOOL
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 650 PLYMOUTH AVENUE
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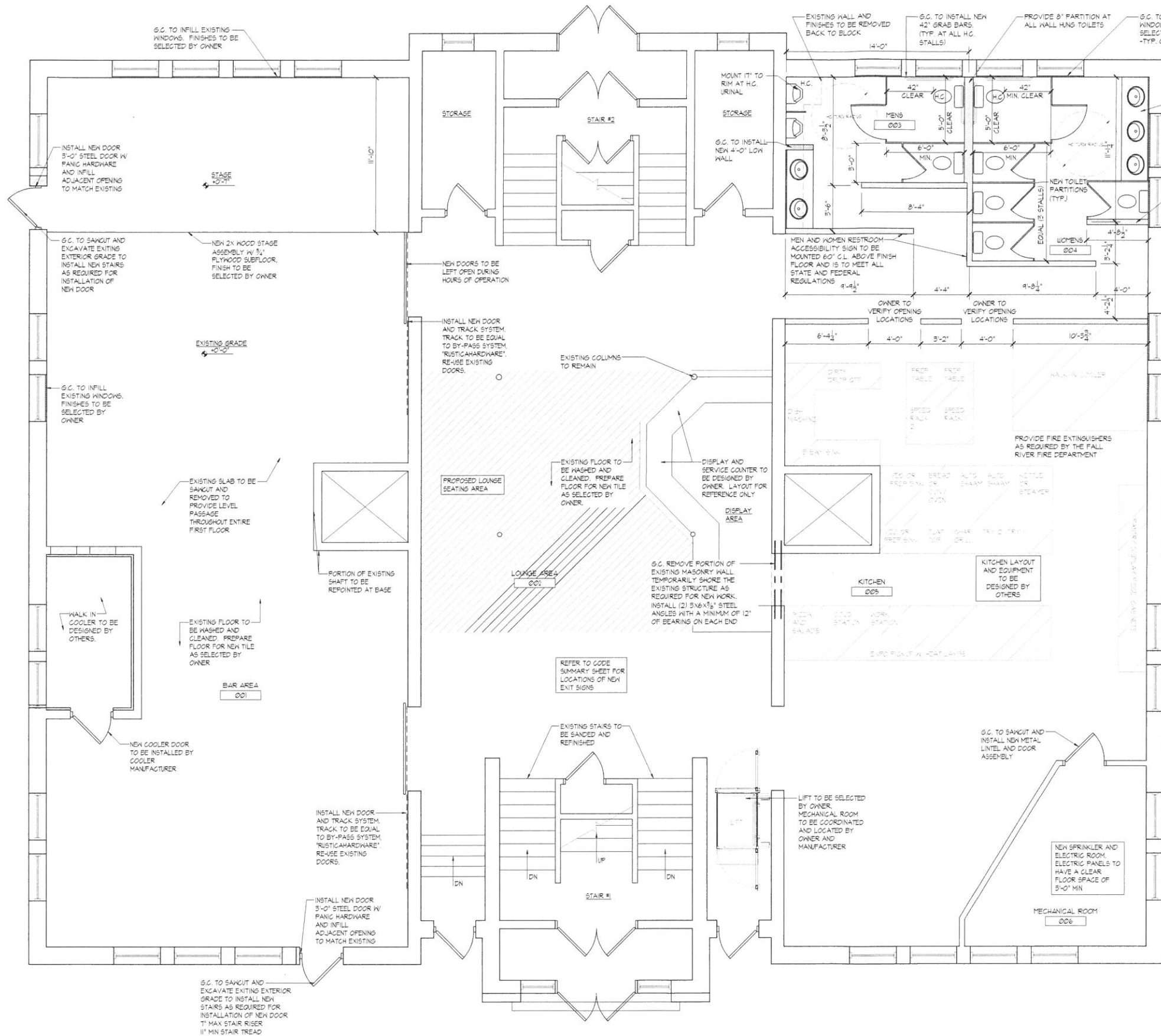
**EXISTING/ DEMO
 SECOND FLOOR PLAN**

DRAWING NUMBER:

03

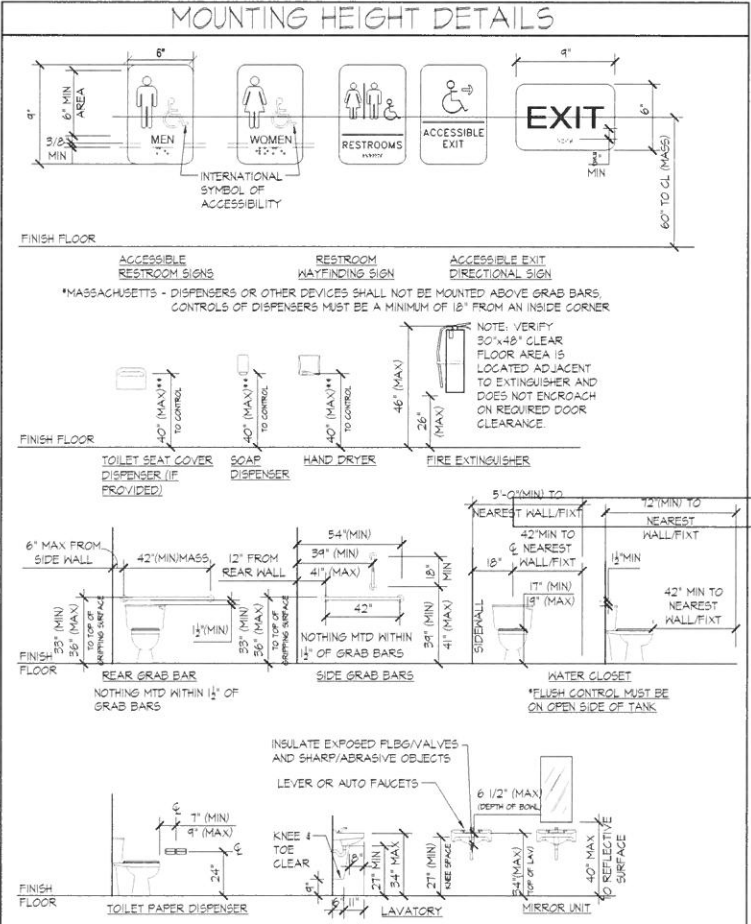
COMMENTS:

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- ### GENERAL NOTES
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS AND EQUIPMENT/APPLURANCES, AND MAINTAINING SAFE CONDITIONS WITHIN THE PROPOSED CONSTRUCTION AREA.
 2. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS.
 3. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY DAMAGES & INJURIES RESULTING FROM AND DURING THE EXECUTION OF THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL DEMOLITION REQUIRED FOR A COMPLETE AND PROPER JOB, WHETHER OR NOT REFERENCE IS MADE BY NOTES AND DESIGNATIONS.
 5. ALL WORK SHALL COMPLY WITH OSHA, FEDERAL, STATE BUILDING, AND FIRE AND LIFE-SAFETY CODES, WHICHEVER IS MOST STRINGENT.
 6. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ACCEPT RESPONSIBILITY FOR DIMENSIONAL CORRECTNESS.
 7. REPAIR/RESTORE, TO ORIGINAL/NEAR ORIGINAL CONDITION, ALL EXISTING ITEMS, MATERIALS, SURFACES, ETC. (INCLUDING AREAS NOT DESIGNATED FOR NEW CONSTRUCTION SHOWN ON THE DRAWINGS) WHICH ARE DAMAGED DURING CONSTRUCTION. ALL RELATED COSTS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 8. THE CONTRACTOR SHALL PROVIDE ALL EXCAVATION DEEMED NECESSARY TO COMPLETE THE SPECIFIED & THE INTENDED NEW WORK.
 9. THE D/B HVAC SUBCONTRACTOR SHALL PROVIDE SUPPLY, RETURN MAKE-UP AIR & EXHAUST SYSTEMS & CONTROL WIRING DEVICES & EQUIPMENT AS REQUIRED BY THE LATEST EDITION OF THE MECHANICAL CODE AND M.S.B.C. CHAPTER 13 FOR ENERGY CONSERVATION. WORK SHALL CONFORM TO SHACNA & ASHRAE STANDARDS. PROVIDE NARRATIVE AS PER M.S.B.C. CH-15.
 10. THE D/B SPRINKLER SUBCONTRACTOR SHALL CONFORM TO NFPA-13, NFPA 250, AND M.S.B.C. CHAPTER 9, AND THE CITY OF FALL RIVER FIRE DEPARTMENT REQUIREMENTS.
 11. THE D/B ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL DESIGN, ENGINEERING, LAYOUT, AND INSTALLATION TO SUIT THE WORK. HE/SHE SHALL COORDINATE POWER WIRING AND CABLING, LIGHTING DEVICES, EQUIPMENT, RUNS, TERMINATIONS, CIRCUITS, AND PANEL LOCATIONS COORDINATE ANY SPECIAL ELECTRICAL DEVICES OR EQUIPMENT REQUIREMENTS WITH THE OWNER PRIOR TO THE WORK. ALSO INCLUDING HORN STROBES AND EMERGENCY EXIT LIGHTS.

KITCHEN EQUIPMENT TO BE INSTALLED PER ALL LOCAL AND FEDERAL CODES AND REGULATIONS. G.C. TO SUBMIT SUBMITTALS TO THE FALL RIVER BUILDING DEPARTMENT BEFORE INSTALLATION.



INTERIOR RENOVATIONS
 AT THE
CONNELL SCHOOL
 SHERWOOD BUILDING COMPANY
 660 PLYMOUTH AVENUE
 FALL RIVER, MA 02721

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SCALE: AS NOTED
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 DRAWN BY: NJV
 JOB NUMBER: 140-13
 DRAWING NAME: BASEMENT FLOOR PLAN AND DETAILS
 DRAWING NUMBER: 04

1 BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

COMMENTS:



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INTERIOR RENOVATIONS
AT THE
CONNELL SCHOOL
SHERWOOD BUILDING COMPANY
650 PLYMOUTH AVENUE
FALL RIVER, MA 02721

REVISIONS:

Table with 2 columns: Description, Date/Author. Contains 10 empty rows for revisions.

SCALE: AS NOTED

DATE: 08.15.14

DRAWN BY: NJV

JOB NUMBER: 140-13

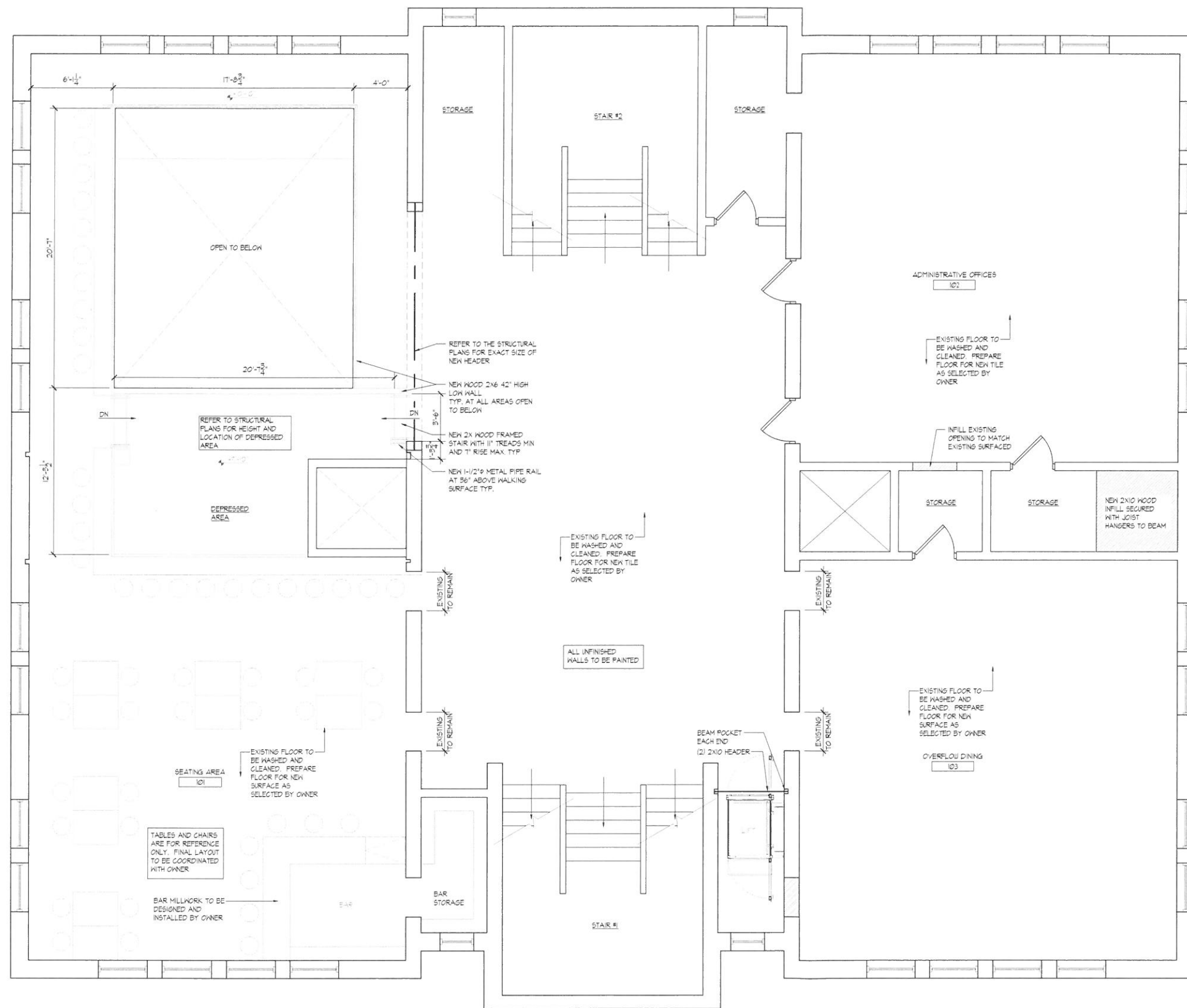
DRAWING NAME:

FIRST FLOOR PLAN

DRAWING NUMBER:

05

COMMENTS:



1 FIRST FLOOR PLAN
05 SCALE: 1/4" = 1'-0"



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INTERIOR RENOVATIONS

AT THE

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SHERWOOD BUILDING COMPANY

650 PLYMOUTH AVENUE

FALL RIVER, MA 02721

REVISIONS:

Table with 2 columns: Description, Date/By. Contains 5 empty rows for revisions.

SCALE: AS NOTED

DATE: 08.15.14

DRAWN BY: NJV

JOB NUMBER: 140-13

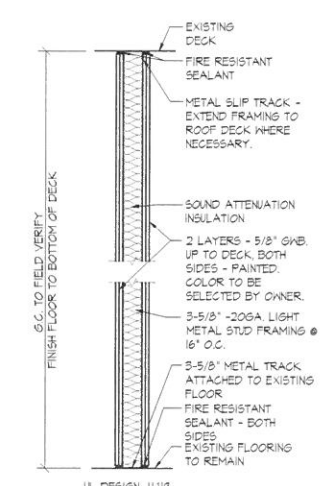
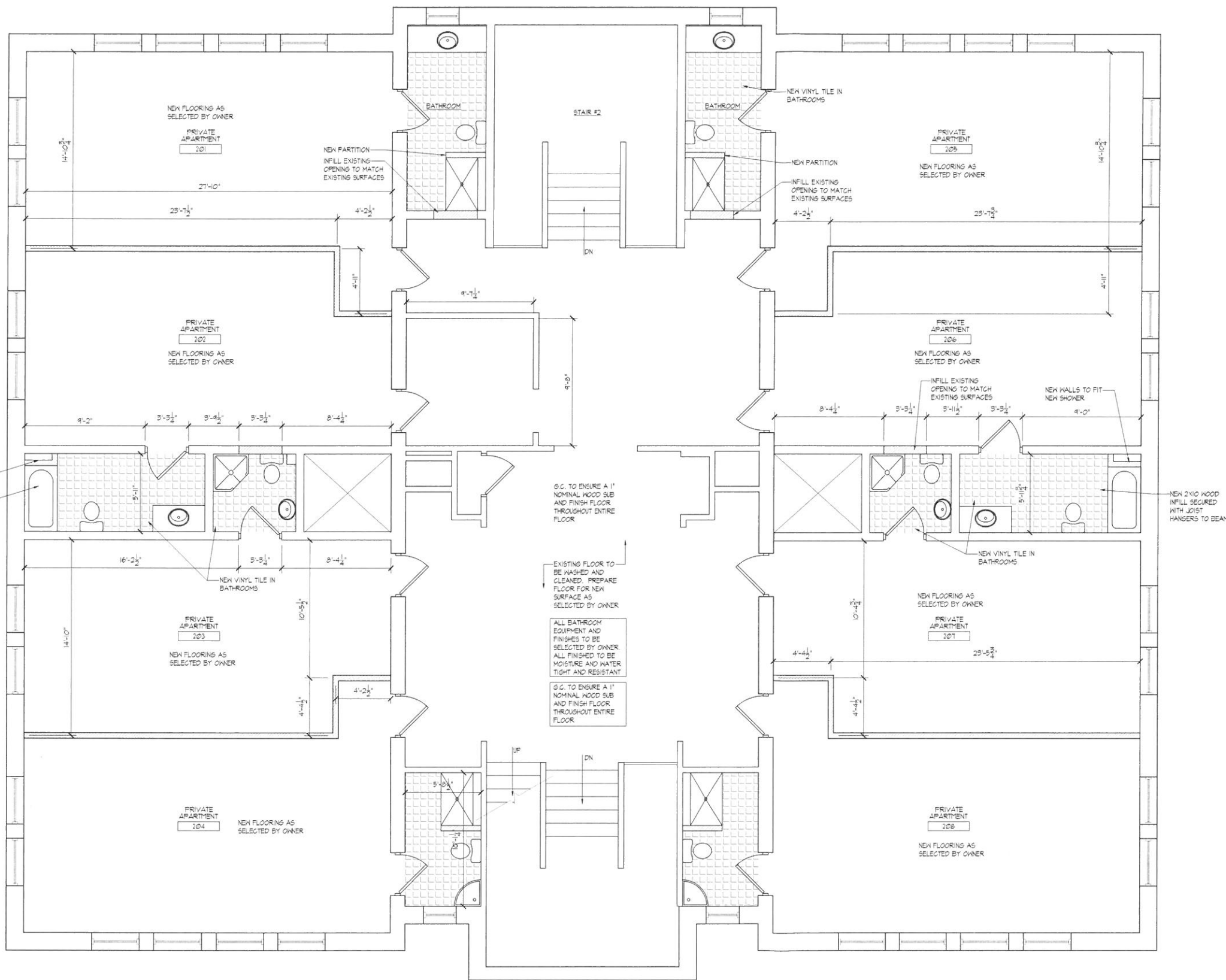
DRAWING NAME:

SECOND FLOOR PLAN AND WALL TYPE

DRAWING NUMBER:

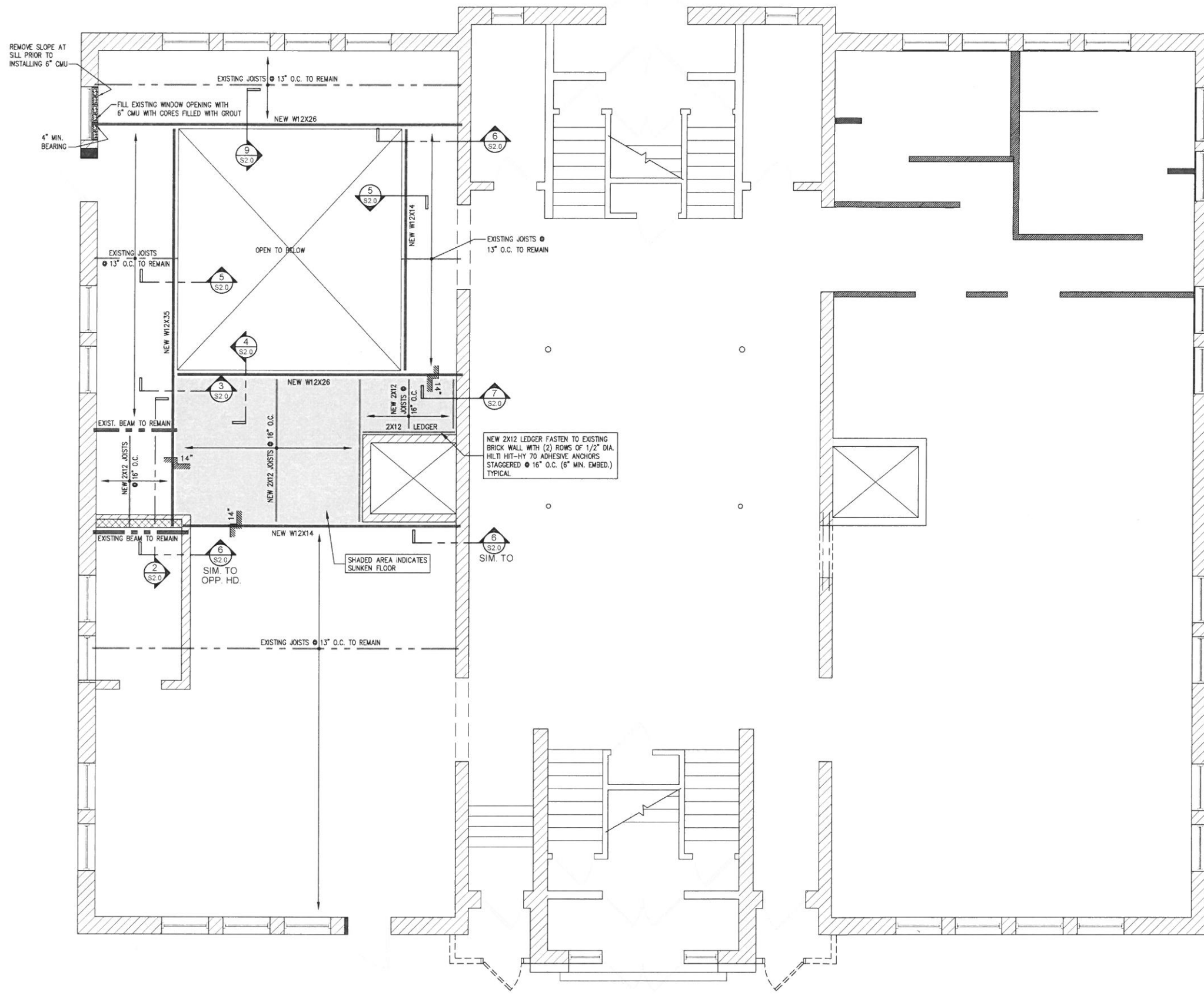
06

COMMENTS:



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

2 TYPICAL WALL TYPE
SCALE: 3/4" = 1'-0"



1 FIRST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

CODE INFORMATION AND DESIGN LOADS (EXCEPT AS NOTED):
SUPPORT BEAMS DESIGNED USING THE 8TH EDITION OF THE MASSACHUSETTS STATE BUILDING CODE 780-CMR (2009 INTERNATIONAL BUILDING CODE W/ MA AMENDMENTS), FALL RIVER, MA.

FLOOR LOADS:
FLOOR LIVE LOAD: 100 PSF
FLOOR DEAD LOAD: 25 PSF

STRUCTURAL STEEL AND STEEL JOISTS NOTES

- ALL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO THE AISC SPECIFICATIONS AND CODES, LATEST EDITION.
- ALL ROLLED WIDE FLANGE (W) SECTION STRUCTURAL BEAMS SHALL BE ASTM A992 Fy=50 KSI, BASE PLATES AND MISC. STRUCTURAL STEEL SHALL BE ASTM A-36 Fy=36 KSI. ALL HOLLOW STRUCTURAL SECTIONS (HSS) SHALL BE ASTM A-500 GRADE B, Fy MINIMUM 46 KSI.
- ALL ANCHOR BOLTS AND THREADED RODS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F-1554 GRADE 36, UNLESS NOTED OTHERWISE.
- ALL BOLTS, SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-325 OR ASTM F1852 FOR 3/4" DIA. HIGH STRENGTH BOLTS UNLESS NOTED OTHERWISE.
- ALL WELDING ELECTRODES SHALL BE E70XX.
- ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS AND SHALL CONFORM TO THE AWS "CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION", LATEST EDITION.
- NO CONNECTION SHALL CONSIST OF LESS THAN TWO 3/4" DIAMETER BOLTS OR WELDS DEVELOPING A MINIMUM OF 10,000 POUNDS UNLESS NOTED OTHERWISE.
- ALL FILLET WELDS SHALL BE A MINIMUM OF 1/4" UNLESS NOTED OTHERWISE.
- ALL WELDS SHALL BE VISUALLY INSPECTED.
- AN INDEPENDENT STEEL TESTING AGENCY SHALL PERFORM ALL INSPECTION AND TESTING. THE STRUCTURAL STEEL FABRICATOR AND ERECTOR SHALL SCHEDULE ALL WORK TO ALLOW THE ABOVE TESTING REQUIREMENTS TO BE COMPLETED. A COPY OF ALL TEST REPORTS SHALL BE FILED WITH THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES WITH RELATION TO TEMPERATURE DIFFERENTIALS AND STABILITY.
- AFTER FABRICATION, ALL STEEL, EXCEPT THAT TO BE GALVANIZED, SHALL BE CLEANED OF ALL RUST, LOOSE MILL SCALE AND OTHER FOREIGN MATERIALS AND RECEIVE ONE COAT OF APPROVED PRIMER PAINT. ALL GALVANIZED STEEL SHALL BE PREPPED AND "TOUCHED UP" ONCE INSTALLATION IS COMPLETE.
- THE FABRICATOR SHALL FURNISH CHECKED SHOP AND ERECTION DRAWINGS AND OBTAIN APPROVAL PRIOR TO FABRICATING ANY STRUCTURAL STEEL.
- CUTS, HOLES, OPENINGS, ETC. REQUIRED IN STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES SHALL BE SHOWN ON SHOP DRAWINGS FOR STRUCTURAL STEEL AND SHALL BE MADE IN THE SHOP. CREATION OF HOLES OR CUTS IN STRUCTURAL STEEL MEMBERS IN THE FIELD WILL NOT BE PERMITTED EXCEPT WITH WRITTEN PERMISSION FROM THE ARCHITECT.

STRUCTURAL LUMBER:

- ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "TIMBER CONSTRUCTION STANDARDS" OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS" OF THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- THE MINIMUM GRADES AND DESIGN VALUES REQUIRED FOR STRUCTURAL LUMBER SHALL BE:
STUD NAILERS:
E=1,300,000 PSI SPRUCE-PINE-FIR FC=1000 PSI
JOISTS, RAFTERS, & HEADERS:
E=1,400,000 PSI FB=875 PSI E=1,400,000 PSI
- FLUSH FRAMING SHALL BE SUPPORTED BY JOIST HANGERS DESIGNED FOR THE FULL CAPACITY OF THE SUPPORTED MEMBER, REFER TO DRAWING FOR TYPE AND LOCATION.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED WITH PRESERVATIVE.
- SUB-FLOORING SHALL BE 3/4" TONGUE & GROOVE APA STRUCTURAL 1 RATED SHEATHING EXPOSURE 1 UNLESS NOTED OTHERWISE.
- ALL SIMPSON CONNECTORS (HANGERS, STRAPS, UPLIFT CONNECTORS, POST CAPS, ETC.) SHALL BE COATED WITH Z-MAX CORROSION RESISTANCE.



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STRUCTURAL ALTERATIONS
AT THE
CONNELL SCHOOL
650 PLYMOUTH AVE
FALL RIVER, MA 02720

REVISIONS:

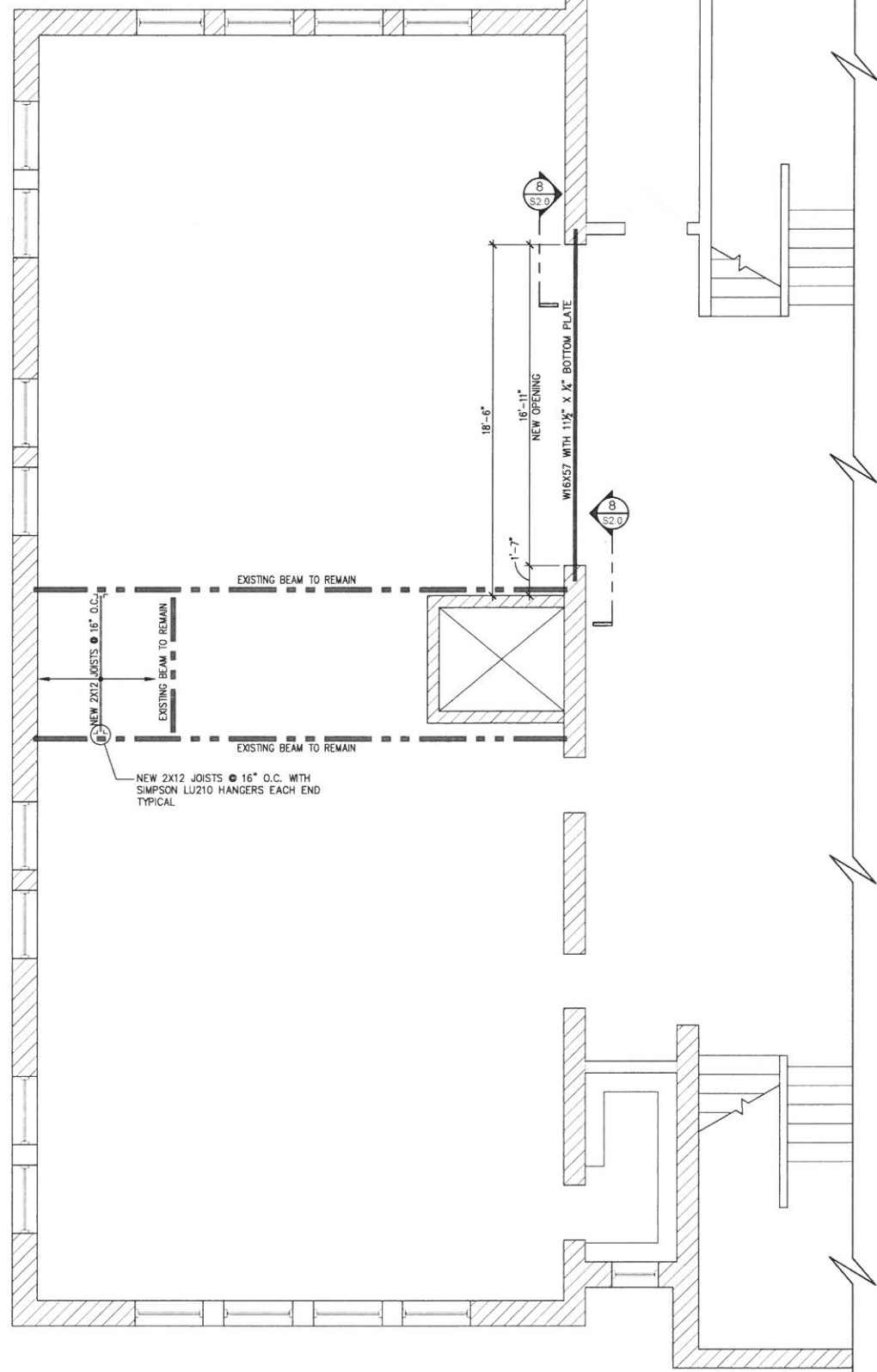
NO.	DATE	DESCRIPTION

SCALE: AS NOTED
DATE: 8.15.2014
DRAWN BY: JMF
CAPA FILE: 215007.20

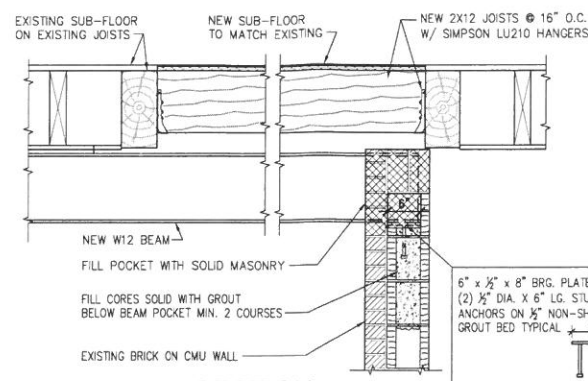
DRAWING NAME:
FIRST FLOOR FRAMING PLAN

DRAWING NUMBER:
S1.0

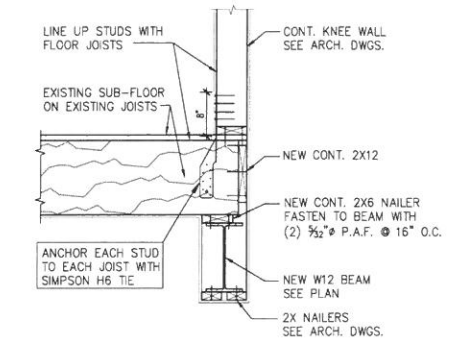
COMMENTS:



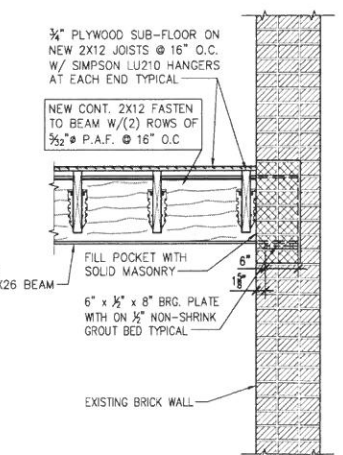
1 PARTIAL SECOND FLOOR FRAMING PLAN
S2.0 SCALE: 1/4"=1'-0"



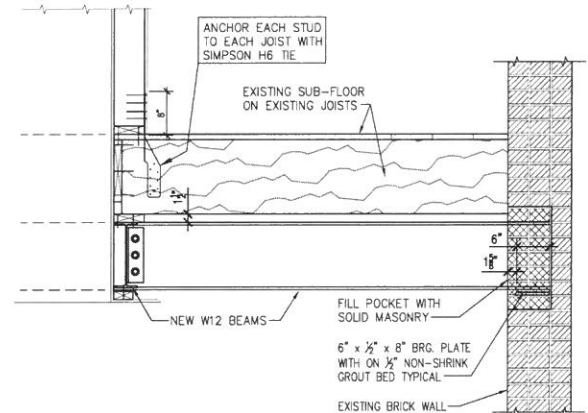
2 SECTION
S1.0 SCALE: 3/4"=1'-0"



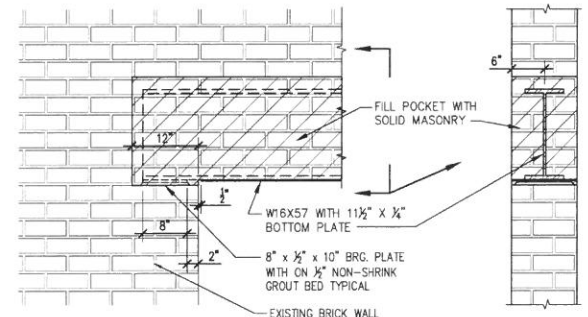
5 SECTION
S1.0 SCALE: 3/4"=1'-0"



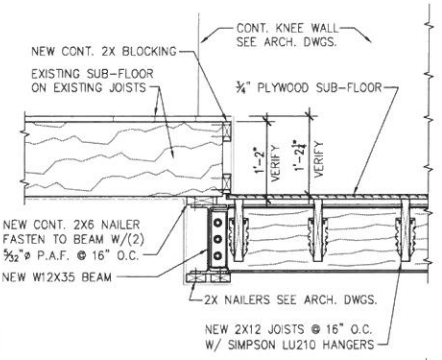
7 SECTION
S1.0 SCALE: 3/4"=1'-0"



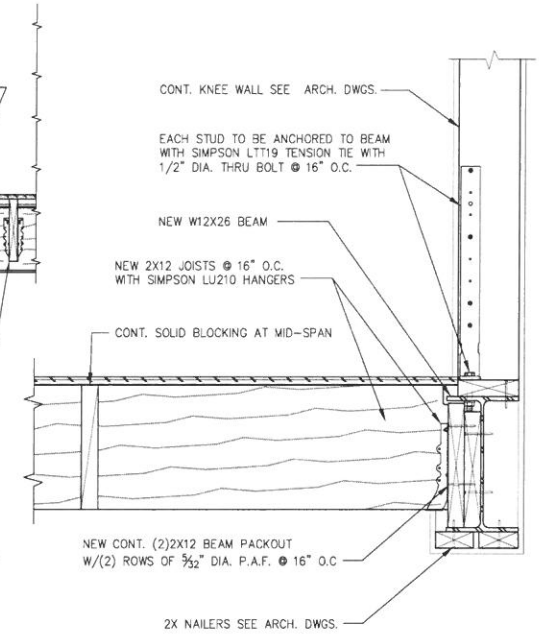
6 SECTION
S1.0 SCALE: 3/4"=1'-0"



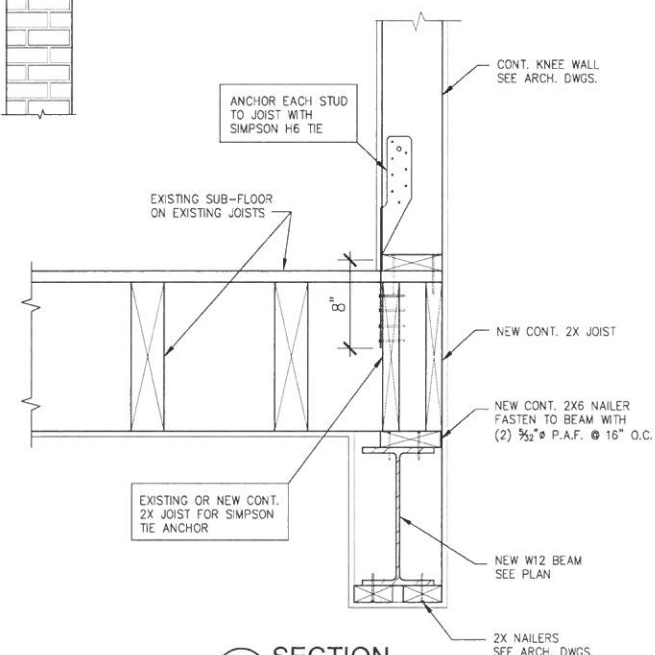
8 SECTION
S1.0 SCALE: 3/4"=1'-0"



3 SECTION
S1.0 SCALE: 3/4"=1'-0"



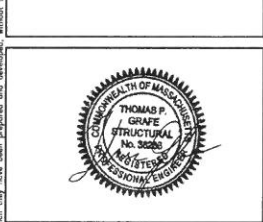
4 SECTION
S1.0 SCALE: 1 1/2"=1'-0"



9 SECTION
S1.0 SCALE: 1 1/2"=1'-0"



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REVISIONS:

SCALE: AS NOTED
DATE: 8.15.2014
DRAWN BY: JMF
CAPA FILE: 215007.20

DRAWING NAME:
PARTIAL 2nd. FL. FRAMING PLAN AND SECTIONS

DRAWING NUMBER:

S2.0

COMMENTS: